



15310 SUVIEW DRIVE

<input checked="" type="checkbox"/> FOR PLANNING PRINTED	<input checked="" type="checkbox"/> PLAN CHECK PRINTED	<input type="checkbox"/> FOR BIDDING PRINTED	<input type="checkbox"/> FOR CONSTRUCTION PRINTED															
VICINITY MAP	SCOPE OF WORK	PROJECT DIRECTORY (A - Z)	SHEET INDEX															
	THE PROPOSED SCOPE OF WORK CONSISTS OF DEMOLITION OF EXISTING SINGLE FAMILY HOME STRUCTURE, DETACHED IN-LAW UNIT AND CARPORT TO CONSTRUCT A ONE STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE.	ARCHITECTS: CAMARGO & ASSOCIATES ARCHITECTS 3953 YOLO DR. SAN JOSE, CA. 95136 MAURICE@CAMARGO.COM T: 408.489.1077	A- 0.01 TITLE SHEET A- 0.02 ARCHITECTURAL SITE PLAN A-1.05 FLOOR PLANS A-1.07 ROOF PLANS A-2.01 EXTERIOR ELEVATIONS A-3.01 BUILDING SECTIONS A-3.02 BUILDING SECTIONS A-801 AREA CALCULATIONS GPR BUILD IT GREEN GREEN POINT RATED CHECKLIST 3D VIEWS															
	ALL WORK DESCRIBED IN THESE DOCUMENTS SHALL COMPLY WITH THE LATEST BUILDING CONSTRUCTION CODES AND THOSE CODES AMENDED AND ADOPTED BY THE TOWN OF LOS GATOS. ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES: 2016 CALIFORNIA BUILDING CODE. 2016 CALIFORNIA ELECTRICAL CODE. 2016 CALIFORNIA ENERGY CODE. 2016 CALIFORNIA FIRE CODE. 2016 CALIFORNIA GREEN BUILDING STANDARDS. 2016 CALIFORNIA MECHANICAL CODE. 2016 CALIFORNIA PLUMBING CODE. 2016 CALIFORNIA RESIDENTIAL CODE	CIVIL ENGINEERS: HANNA-BRUNETTI, INC. 7651 EIGLEBERRY ST/ GILROY, CA. 95020 ENGINEERING@HANNABRUNETTI.COM T: 408.842.2173 GOVERNMENT: TOWN OF LOS GATOS 110 E. MAIN ST. LOS GATOS, CA. 95030 T. 408.354.6834 LANDSCAPE ARCHITECTS: AITKEN ASSOCIATES LANDSCAPE ARCHITECTS 8262 RANCHE REAL GILROY, CA. 95020 T: 408.842.0245 OWNERS: JIM & HOLLY VERGARA 15310 SUVIEW DR. LOS GATOS, CA. 95032	CIVIL DRAWINGS 1 TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS 2 BLUEPRINT FOR A CLEAN BAY 3 EXISTING TOPOGRAPHY & DEMOLITION PLAN 4 SITE PLAN 5 GRADING & DRAINAGE PLAN 6 SECTIONS & DETAILS 7 EROSION CONTROL PLAN LANDSCAPE DRAWINGS L-1 LANDSCAPE PLAN															
	PROJECT DATA																	
	SITE DATA APN: 537-24-024 ZONING: HR-2 1/2 OCCUPANCY GROUP: R3 TYPE OF CONSTRUCTION: TYBE V GROSS LOT AREA: 2.59 ACRES / 112,820.4 SQFT NET LOT AREA: 55,620.5 SQFT SITE AVERAGE SLOPE: 26.9% REDUCTION FACTOR: 50.70%																	
	FAR CALCULATIONS <table><tr><td></td><td>PROPOSED</td><td>MAX ALLOWED</td></tr><tr><td>MAIN FLOOR:</td><td>5,203.25 SQFT</td><td></td></tr><tr><td>GARGE:</td><td>926.75 SQFT</td><td></td></tr><tr><td>HDS&G ALLOWANCE</td><td>-400 SQFT</td><td></td></tr><tr><td>SUBTOTAL:</td><td>5,730.00 SQFT</td><td>6,000 SQFT</td></tr></table> COVERED PORCHES / PATIOS: 934 SQFT SECONDARY DWELLING: N/A DETACHED ACCESSORY BLDNG: N/A SUBTOTAL: 6,663.50 SQFT		PROPOSED	MAX ALLOWED	MAIN FLOOR:	5,203.25 SQFT		GARGE:	926.75 SQFT		HDS&G ALLOWANCE	-400 SQFT		SUBTOTAL:	5,730.00 SQFT	6,000 SQFT		
	PROPOSED	MAX ALLOWED																
MAIN FLOOR:	5,203.25 SQFT																	
GARGE:	926.75 SQFT																	
HDS&G ALLOWANCE	-400 SQFT																	
SUBTOTAL:	5,730.00 SQFT	6,000 SQFT																
	EXISING HOUSE TO BE DEMOLISHED <table><tr><td>MAIN HOUSE:</td><td>1,987 SQFT</td></tr><tr><td>GUEST UNIT:</td><td>932 SQFT</td></tr><tr><td>CARPORT</td><td>882 SQFT</td></tr><tr><td>SUBTOTAL:</td><td>3,801 SQFT</td></tr></table>	MAIN HOUSE:	1,987 SQFT	GUEST UNIT:	932 SQFT	CARPORT	882 SQFT	SUBTOTAL:	3,801 SQFT									
MAIN HOUSE:	1,987 SQFT																	
GUEST UNIT:	932 SQFT																	
CARPORT	882 SQFT																	
SUBTOTAL:	3,801 SQFT																	

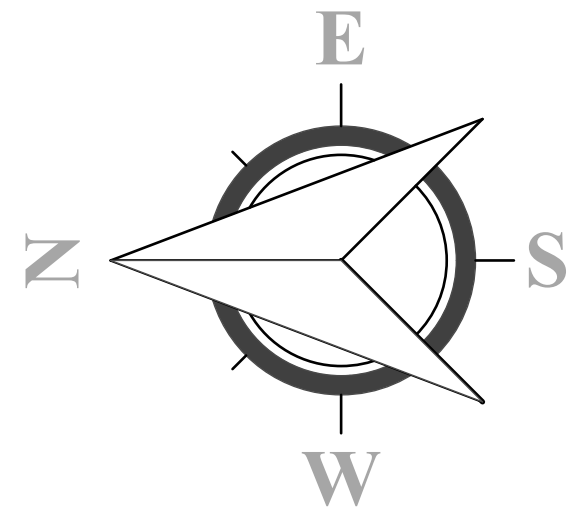
VERGARA RESIDENCE
15310 Suview Drive • Los Gatos • California

CAMARGO

& ASSOCIATES
ARCHITECTS

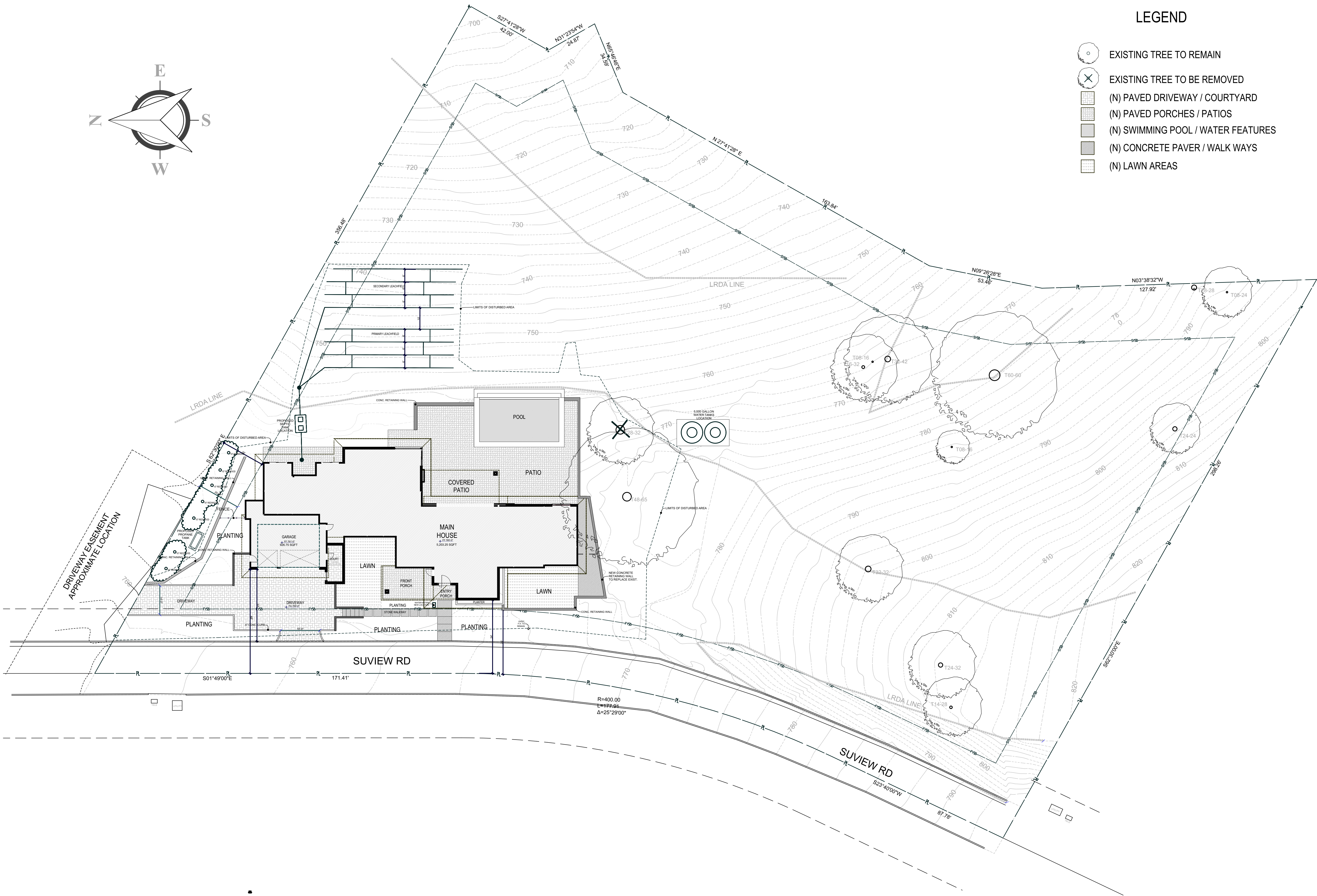
3953 Yolo Drive
San Jose, CA. 95136
(408) 266-3442
www.camargo.com

Date	8/28/2019
Project	SUVIEW
Drawn	FRANCISCO TORRES
Sheet	
A- 0.01	

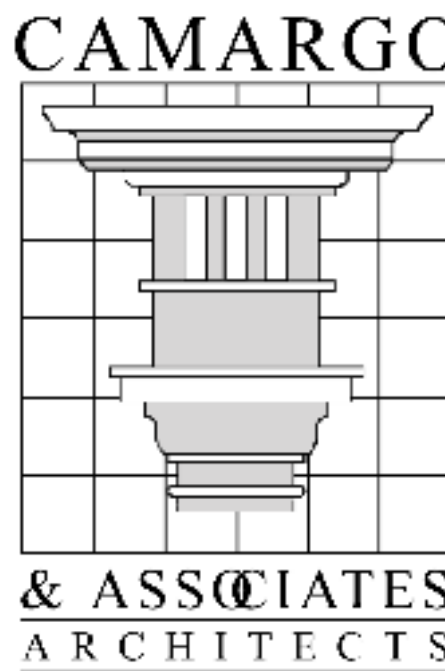


LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- (N) PAVED DRIVEWAY / COURTYARD
- (N) PAVED PORCHES / PATIOS
- (N) SWIMMING POOL / WATER FEATURES
- (N) CONCRETE PAVER / WALK WAYS
- (N) LAWN AREAS



VERGARA RESIDENCE
15310 Suview Drive • Los Gatos • California



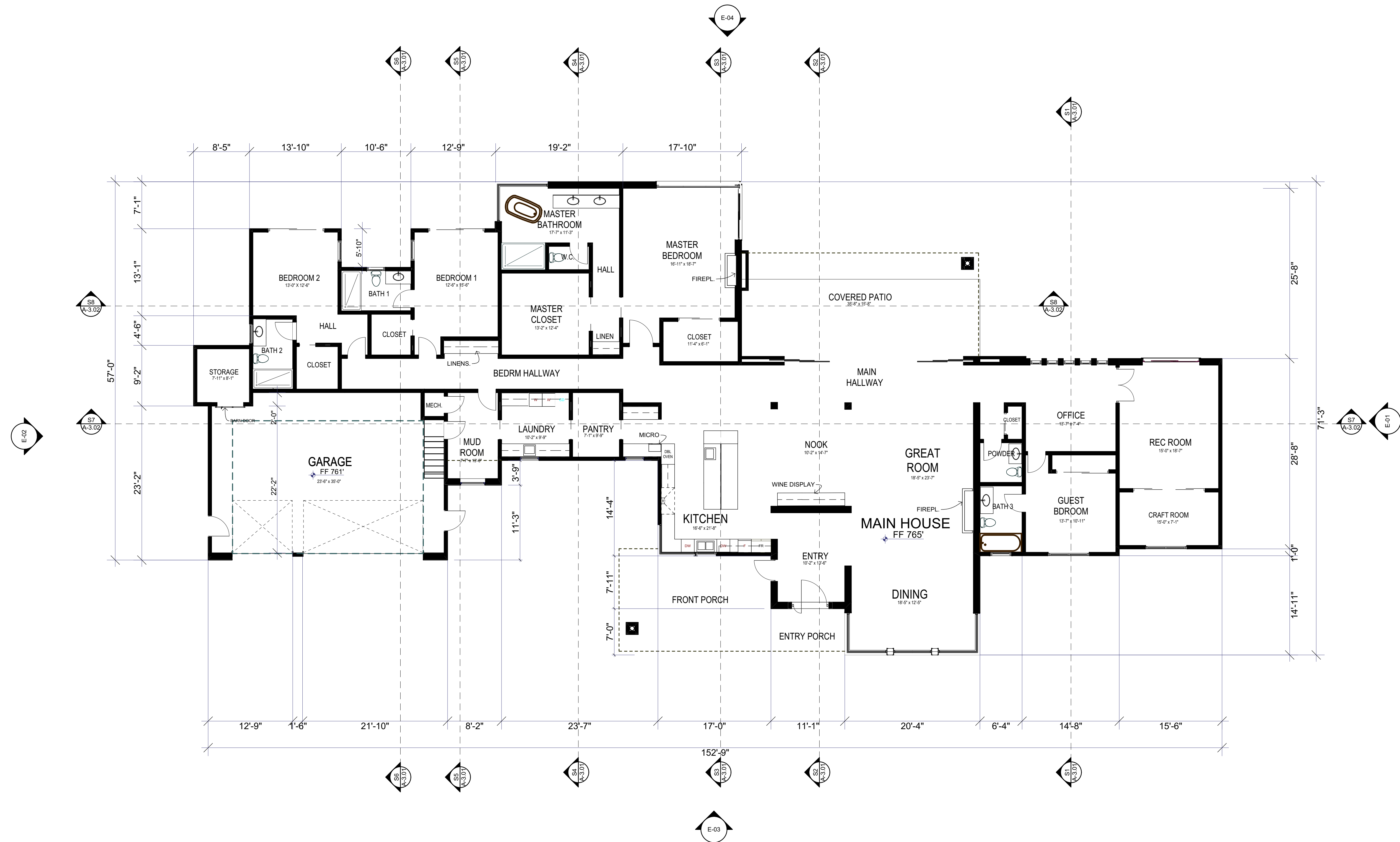
3953 Yolo Drive
San Jose, CA. 95136
(408) 266-3442
www.camargo.com

Date	8/28/2019
Project	SUVIEW
Drawn	FRANCISCO TORRES

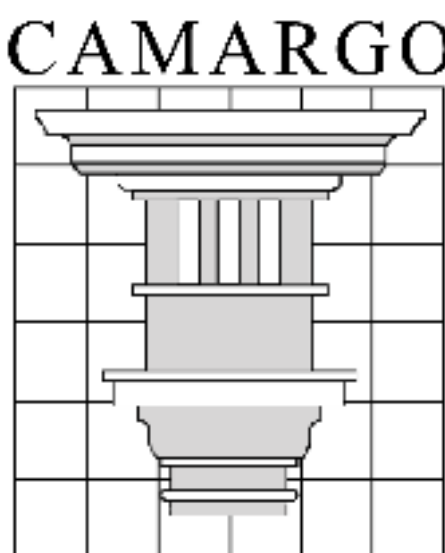
Sheet
A- 0.02

ARCHITECTURAL SITE PLAN

SCALE: 1' = 20'



VERGARA RESIDENCE
15310 Suview Drive • Los Gatos • California



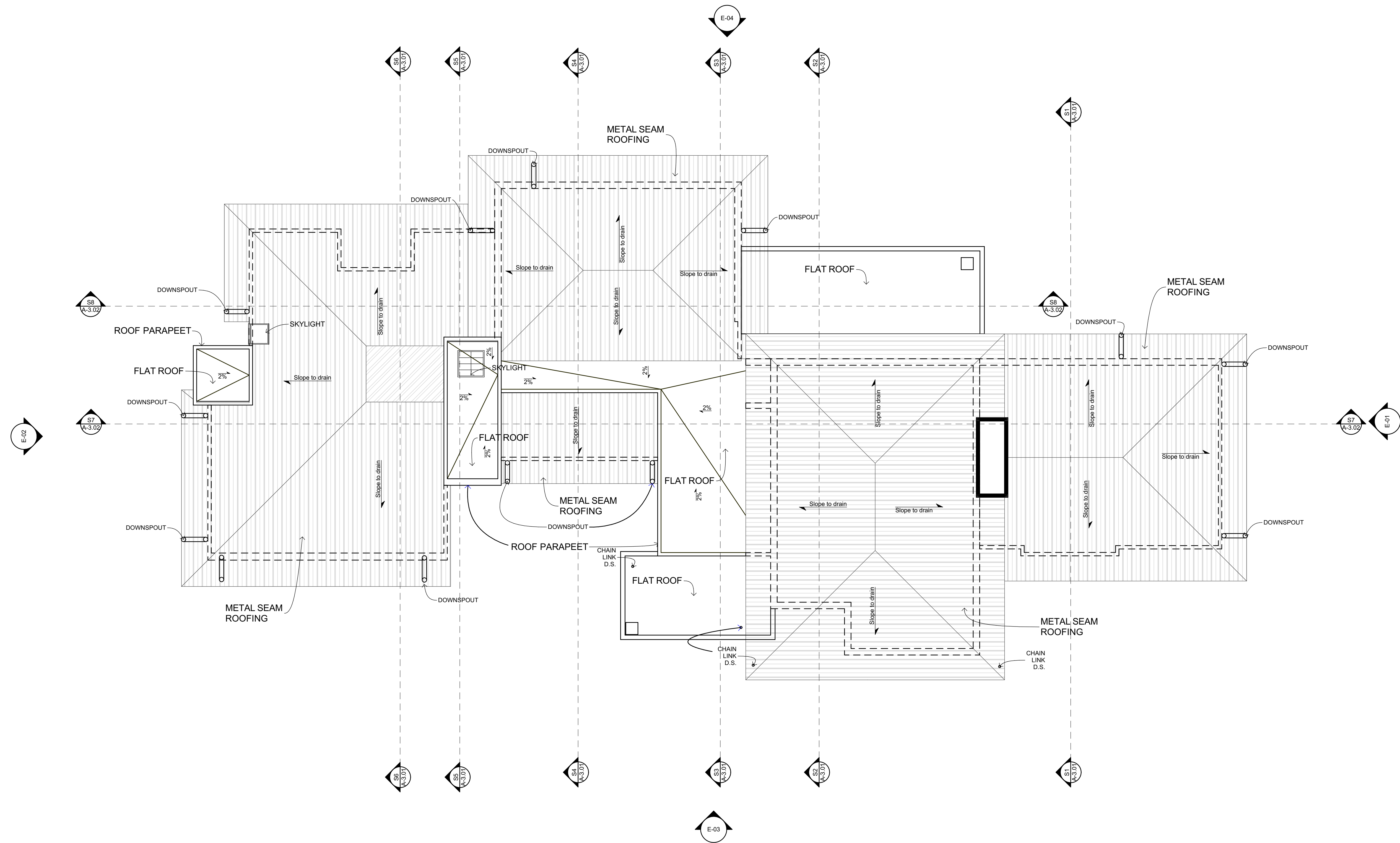
CAMARGO
& ASSOCIATES
ARCHITECTS

3953 Yolo Drive
San Jose, CA. 95136
(408) 266-3442
www.camargo.com

Date	8/28/2019
Project	SUVIEW
Drawn	FRANCISCO TORRES

Sheet
A-1.05

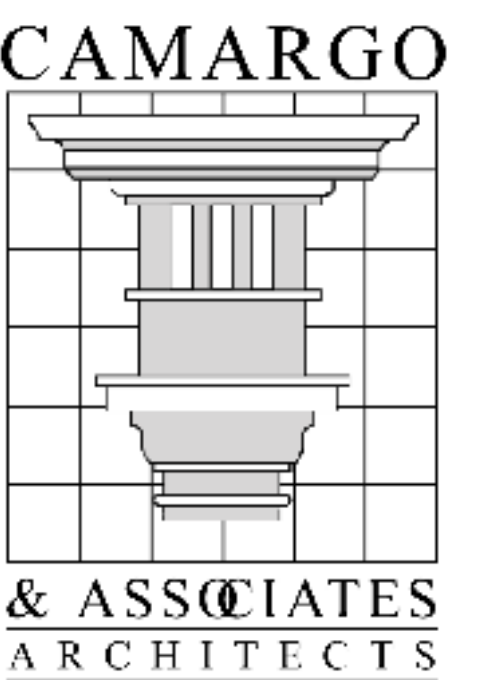
FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN

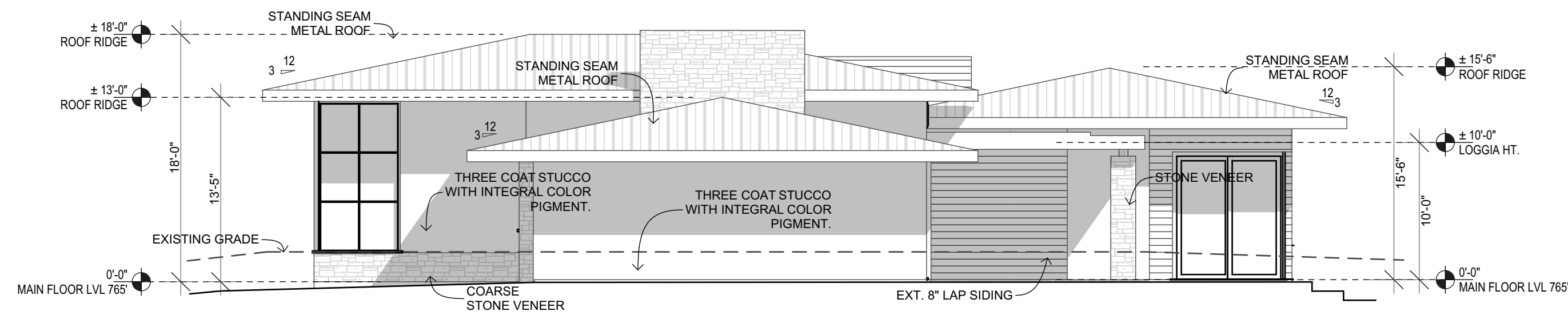
SCALE: 1/8" = 1'-0"

VERGARA RESIDENCE
15310 Suview Drive • Los Gatos • California

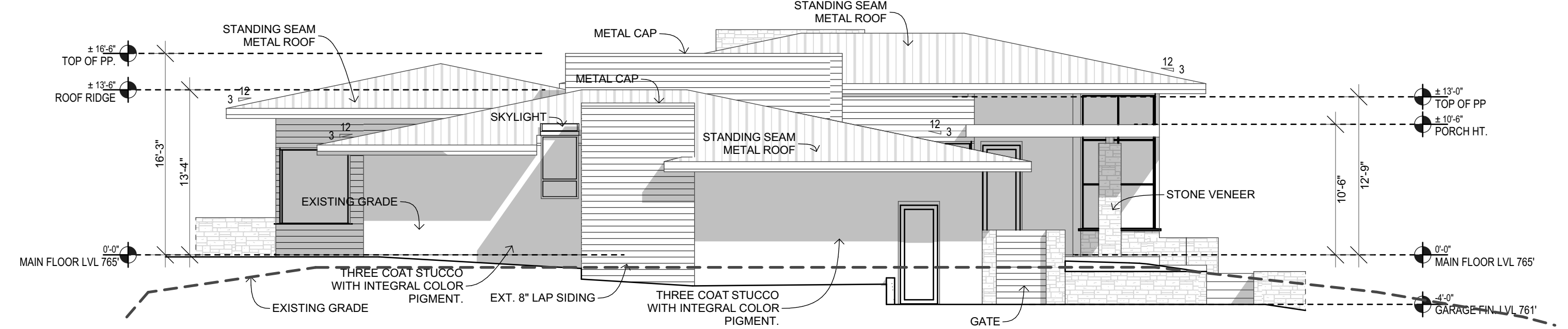


**CAMARGO
& ASSOCIATES
ARCHITECTS**
3953 Yolo Drive
San Jose, CA. 95136
(408) 266-3442
www.camargo.com

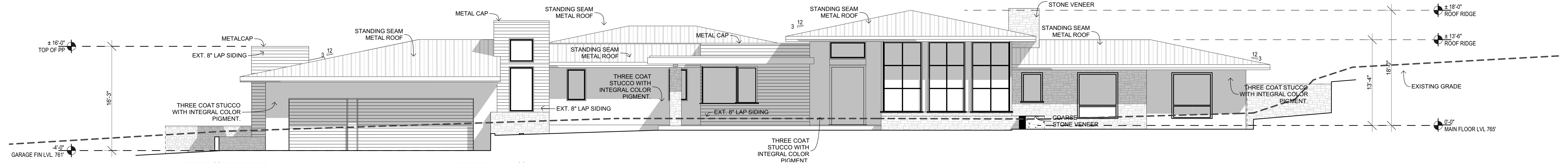
Date	8/28/2019
Project	SUVIEW
Drawn	FRANCISCO TORRES
Sheet	A-1.07



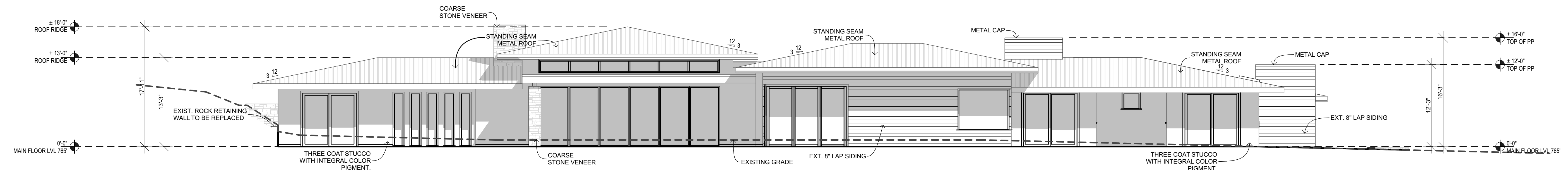
E-01 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



E-02 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



E-03 WEST ELEVATION



E-04 EAST ELEVATION

VERGARA RESIDENCE
15310 Suview Drive • Los Gatos • California

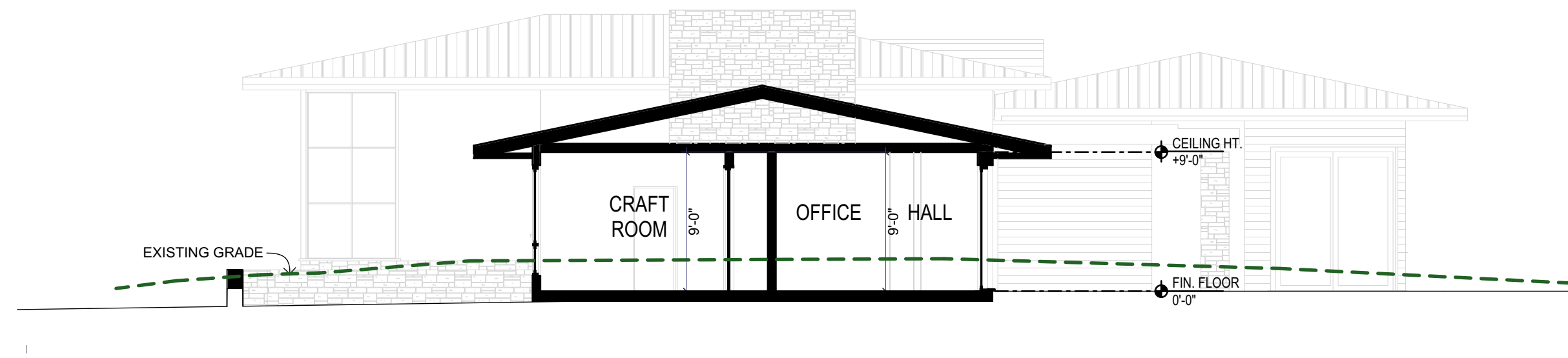
CAMARGO
& ASSOCIATES
ARCHITECTS

3953 Yolo Drive
San Jose, CA. 95136
(408) 266-3442
www.camargo.com

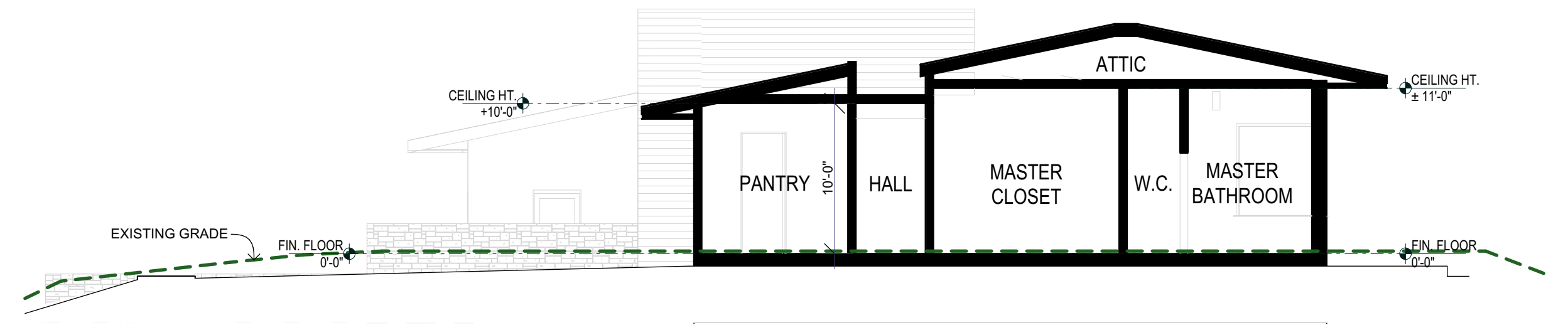
Date	8/28/2019
Project	SUVIEW
Drawn	FRANCISCO TORRES

Sheet	A-2.01
-------	--------

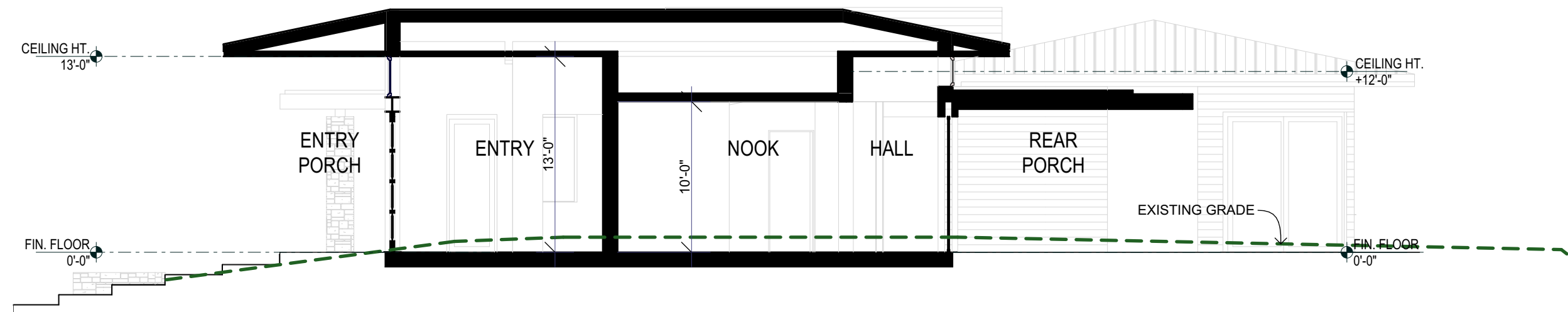
EXTERIOR ELEVATIONS



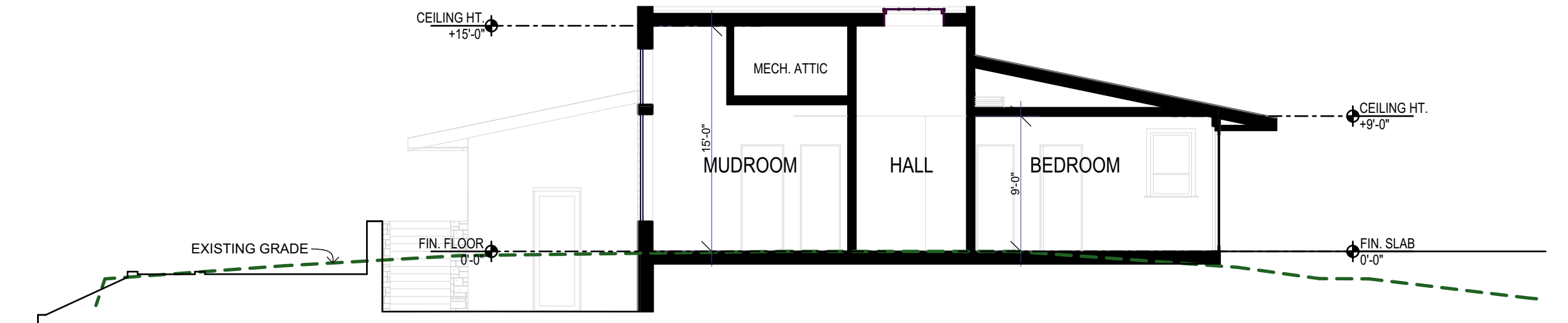
S1 Building Section A
SCALE: 1/8" = 1'-0"



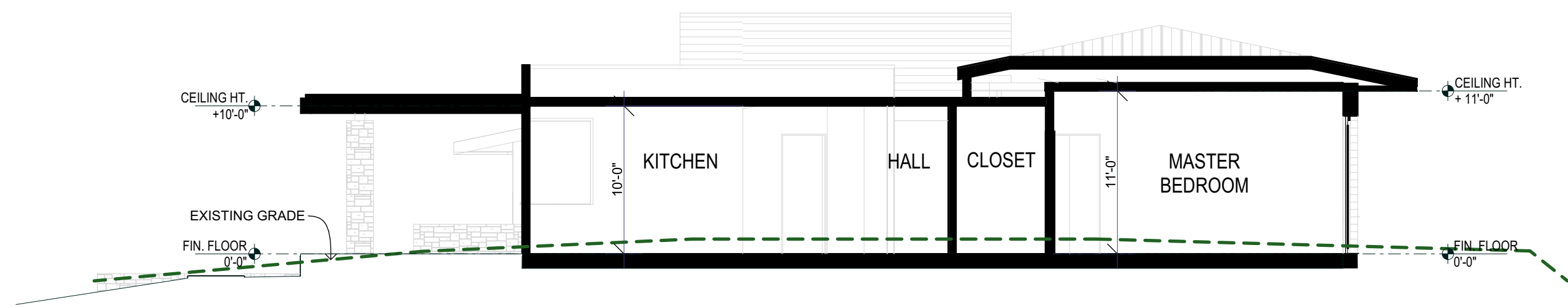
S4 Building Section D
SCALE: 1/8" = 1'-0"



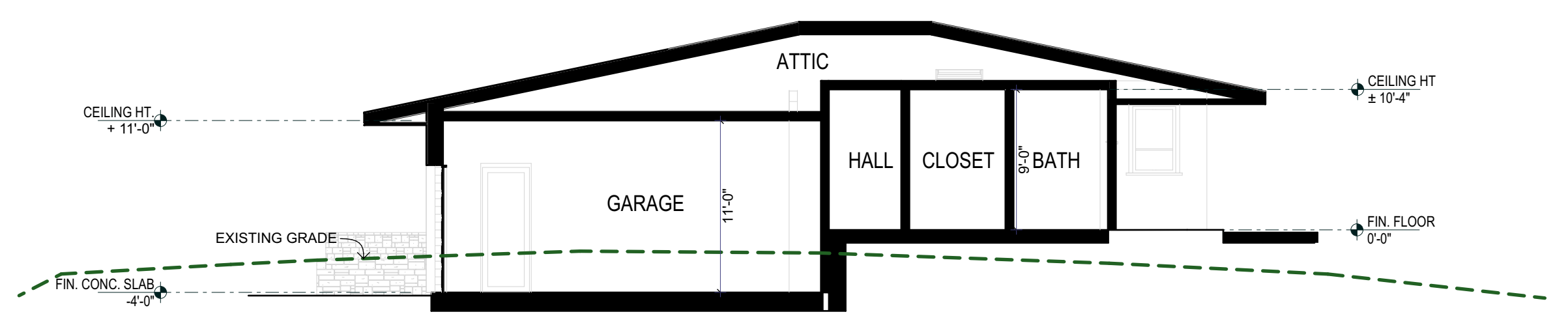
S2 Building Section B
SCALE: 1/8" = 1'-0"



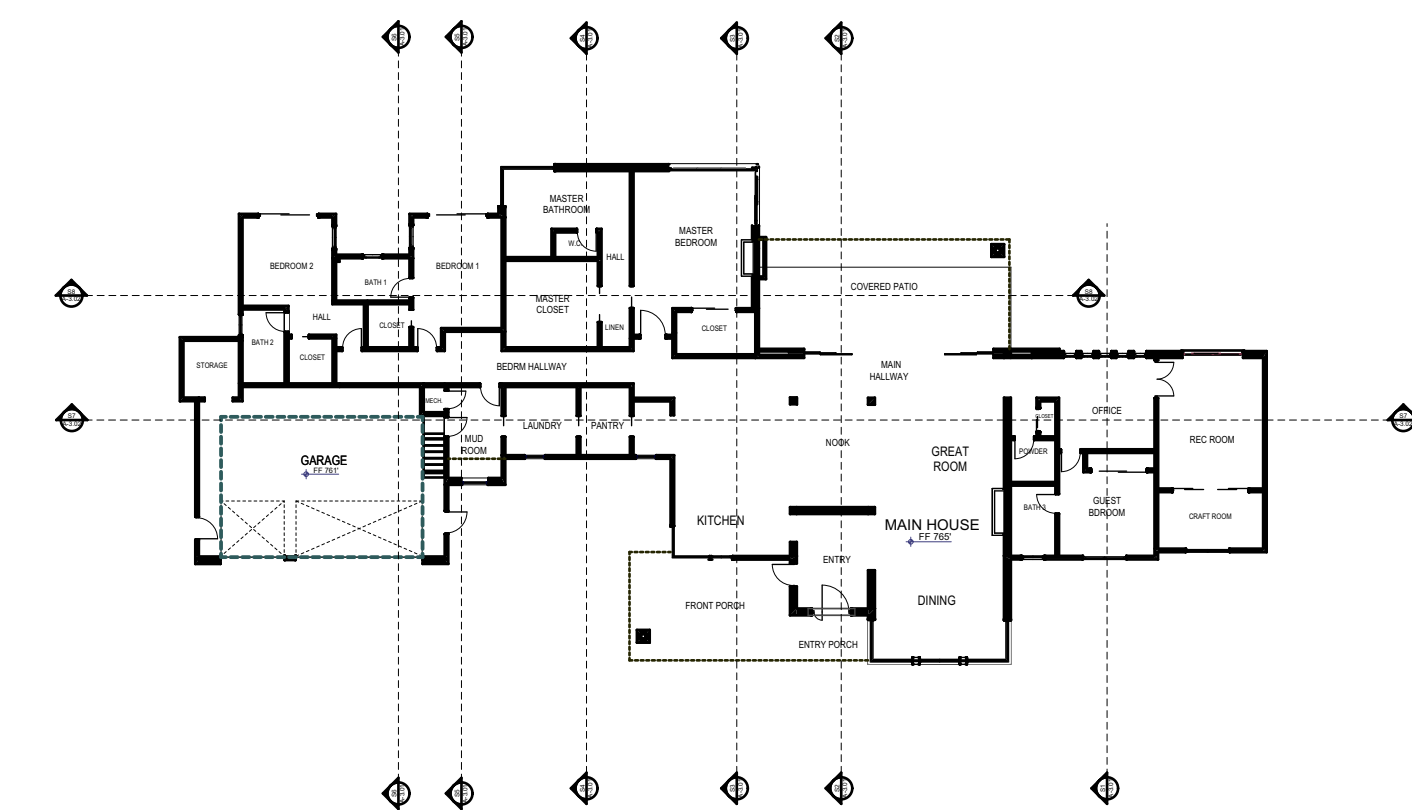
S5 Building Section E
SCALE: 1/8" = 1'-0"



S3 Building Section C
SCALE: 1/8" = 1'-0"



S6 Building Section F
SCALE: 1/8" = 1'-0"



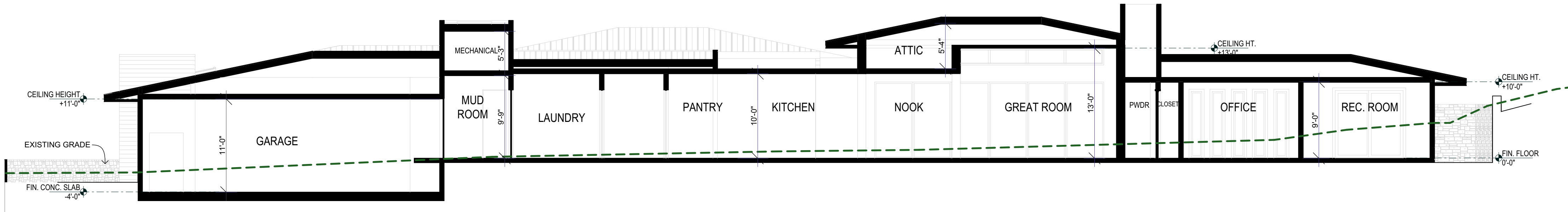
SECTION KEY MAP

EXTERIOR ELEVATIONS

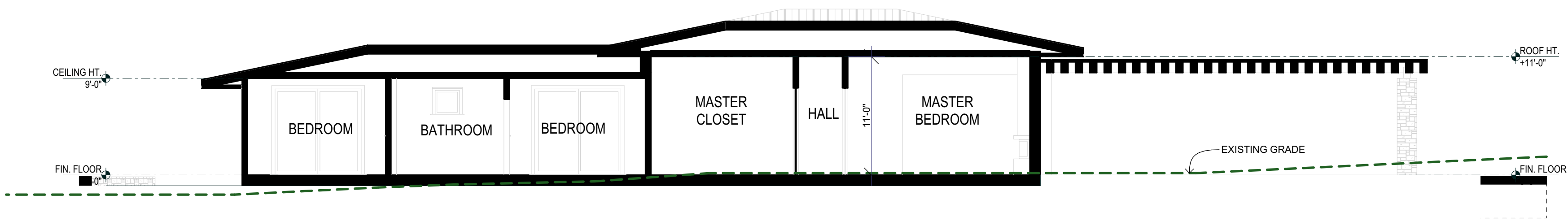
VERGARA RESIDENCE
15310 Suview Drive • Los Gatos • California

CAMARGO
& ASSOCIATES
ARCHITECTS
3953 Yolo Drive
San Jose, CA. 95136
(408) 266-3442
www.camargo.com

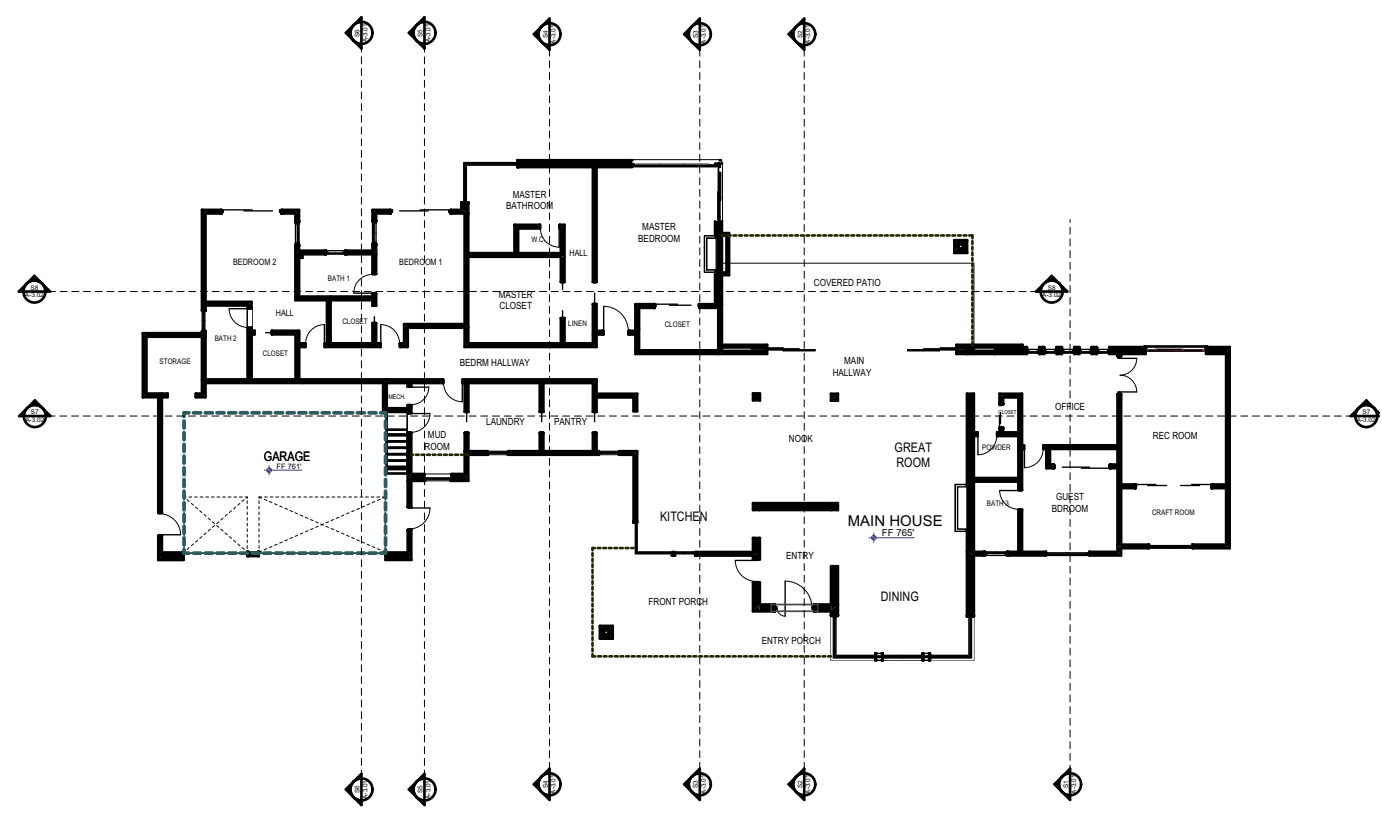
Date	8/28/2019
Project	SUVIEW
Drawn	FRANCISCO TORRES
Sheet	A-3.01



S7 Building Section H
SCALE: 1/8" = 1'-0"



S8 Building Section I
SCALE: 1/8" = 1'-0"



SECTION KEY MAP

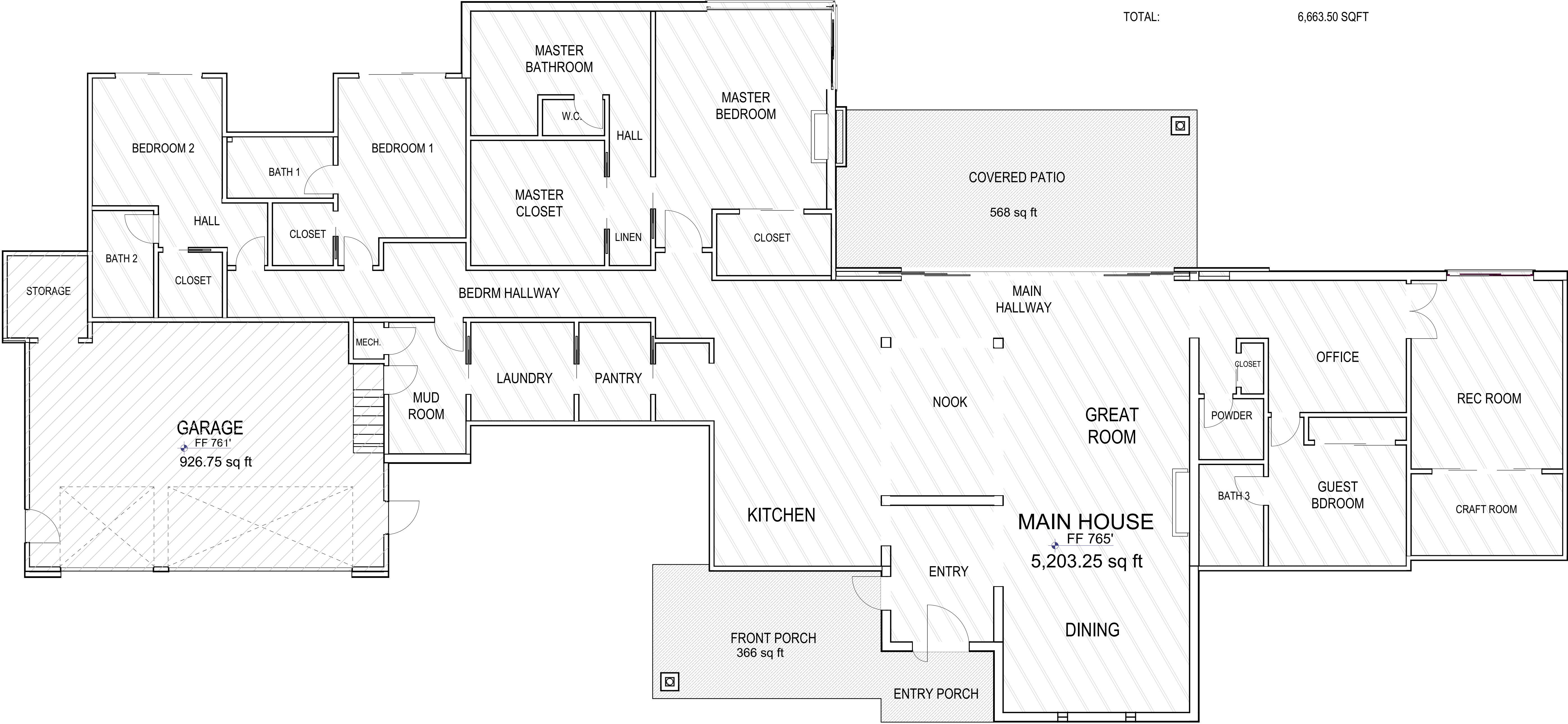
BUILDING SECTIONS

VERGARA RESIDENCE
15310 Suview Drive • Los Gatos • California

CAMARGO

& ASSOCIATES
ARCHITECTS
3953 Yolo Drive
San Jose, CA. 95136
(408) 266-3442
www.camargo.com

Date	8/28/2019
Project	SUVIEW
Drawn	FRANCISCO TORRES
Sheet	A-3.02



FLOOR AREAS

MAIN HOUSE FLOOR AREA	5,188.50 SQFT
GARAGE FLOOR AREA	941 SQFT
EXCLUDED:	-400 SQFT
TOTAL FLOOR AREA:	5,729.5 SQFT
MAX. ALLOWED FAR:	6,000 SQFT
COVERED PORCHES:	934 SQFT
TOTAL:	6,663.50 SQFT

AREA CALCULATIONS

VERGARA RESIDENCE
15310 Suview Drive • Los Gatos • California

CAMARGO
& ASSOCIATES
ARCHITECTS
3953 Yolo Drive
San Jose, CA. 95136
(408) 266-3442
www.camargo.com

Date	8/28/2019
Project	SUVIEW
Drawn	FRANCISCO TORRES
Sheet	A-801

GreenPoint RATED NEW HOME RATING SYSTEM, VERSION 6.0 SINGLE FAMILY CHECKLIST

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient building in California.

The minimum requirements of GreenPoint Rated are verification of 50 or more points. Earn the following minimum points per category: Community (2), Energy (25), Indoor Air Quality/Health (5), Resources (5), and Water (5); and meet the prerequisites CALGreen Mandatory M6.1, M5.1, M1, M7, M8, M9, M10, M11, M12, M13, M14, M15, M16, M17, M18, M19, M20, M21, M22, M23, M24, M25, M26, M27, M28, M29, M30, M31, M32, M33, M34, M35, M36, M37, M38, M39, M40, M41, M42, M43, M44, M45, M46, M47, M48, M49, M50, M51, M52, M53, M54, M55, M56, M57, M58, M59, M60, M61, M62, M63, M64, M65, M66, M67, M68, M69, M70, M71, M72, M73, M74, M75, M76, M77, M78, M79, M80, M81, M82, M83, M84, M85, M86, M87, M88, M89, M90, M91, M92, M93, M94, M95, M96, M97, M98, M99, M100.

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.builditgreen.org/greenpointrated.

Build It Green is not a code enforcement agency.

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.

Single Family New Home Version 6.0.2

15310 SUVIEV DR.

MEASURES

Points Achieved: 63

Certification Level: Certified

POINTS REQUIRED

Minimum Points: 50

Additional Points: 13.8

NOTES

© Build It Green

GreenPoint Rated New Home Single Family Checklist Version 6.0

Single Family New Home Version 6.0.2

MEASURES

Points Achieved: 63

Certification Level: Certified

POINTS REQUIRED

Minimum Points: 50

Additional Points: 13.8

NOTES

© Build It Green

GreenPoint Rated New Home Single Family Checklist Version 6.0

Single Family New Home Version 6.0.2

MEASURES

Points Achieved: 63

Certification Level: Certified

POINTS REQUIRED

Minimum Points: 50

Additional Points: 13.8

NOTES

© Build It Green

GreenPoint Rated New Home Single Family Checklist Version 6.0

GREEN POINTS RATING CHECKLIST

VERGARA RESIDENCE

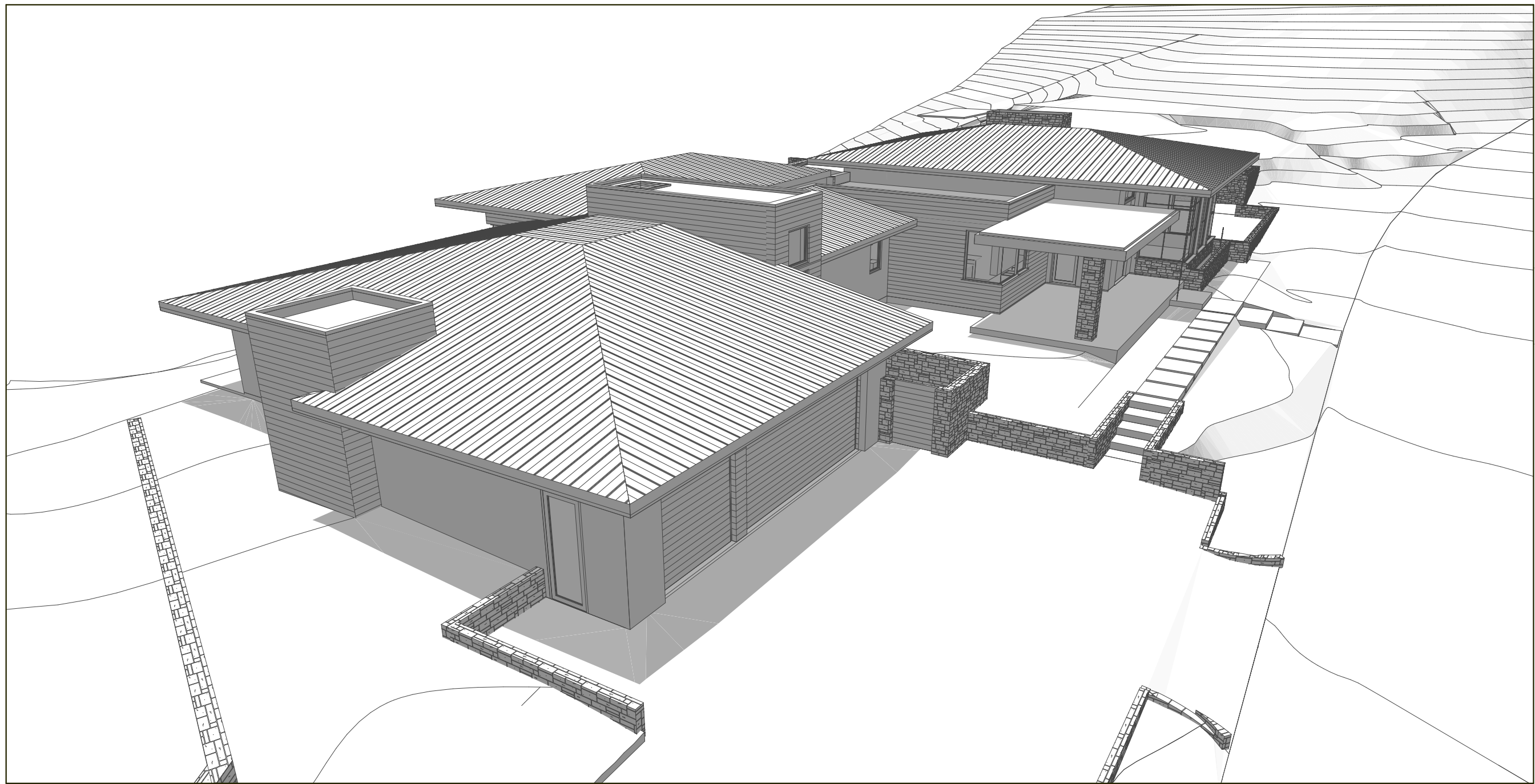
15310 Suview Drive • Los Gatos • California

CAMARGO & ASSOCIATES ARCHITECTS

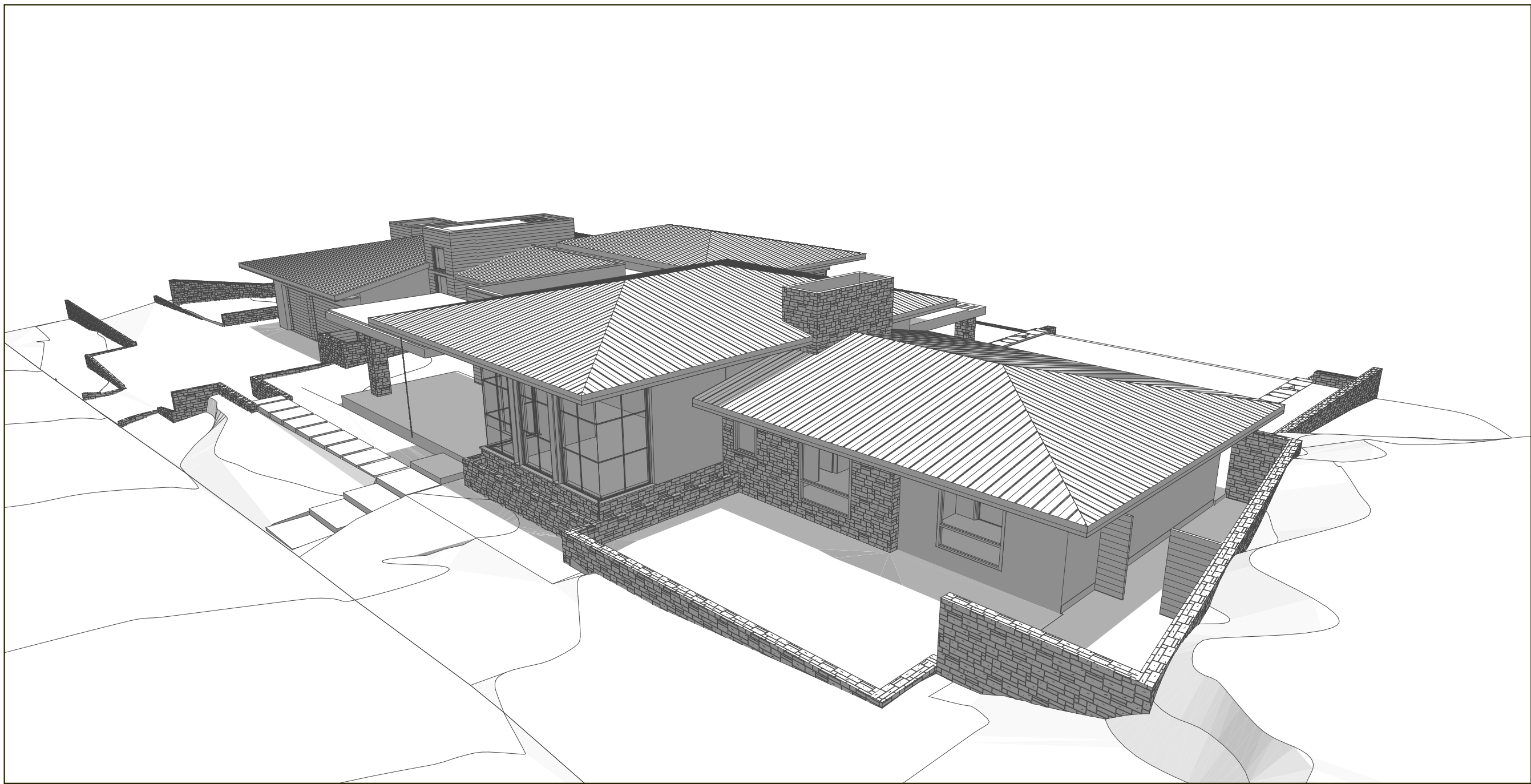
3953 Yolo Drive
San Jose, CA. 95136
(408) 266-3442
www.camargo.com

Date	8/28/2019
Project	SUVIEV
Drawn	FRANCISCO TORRES

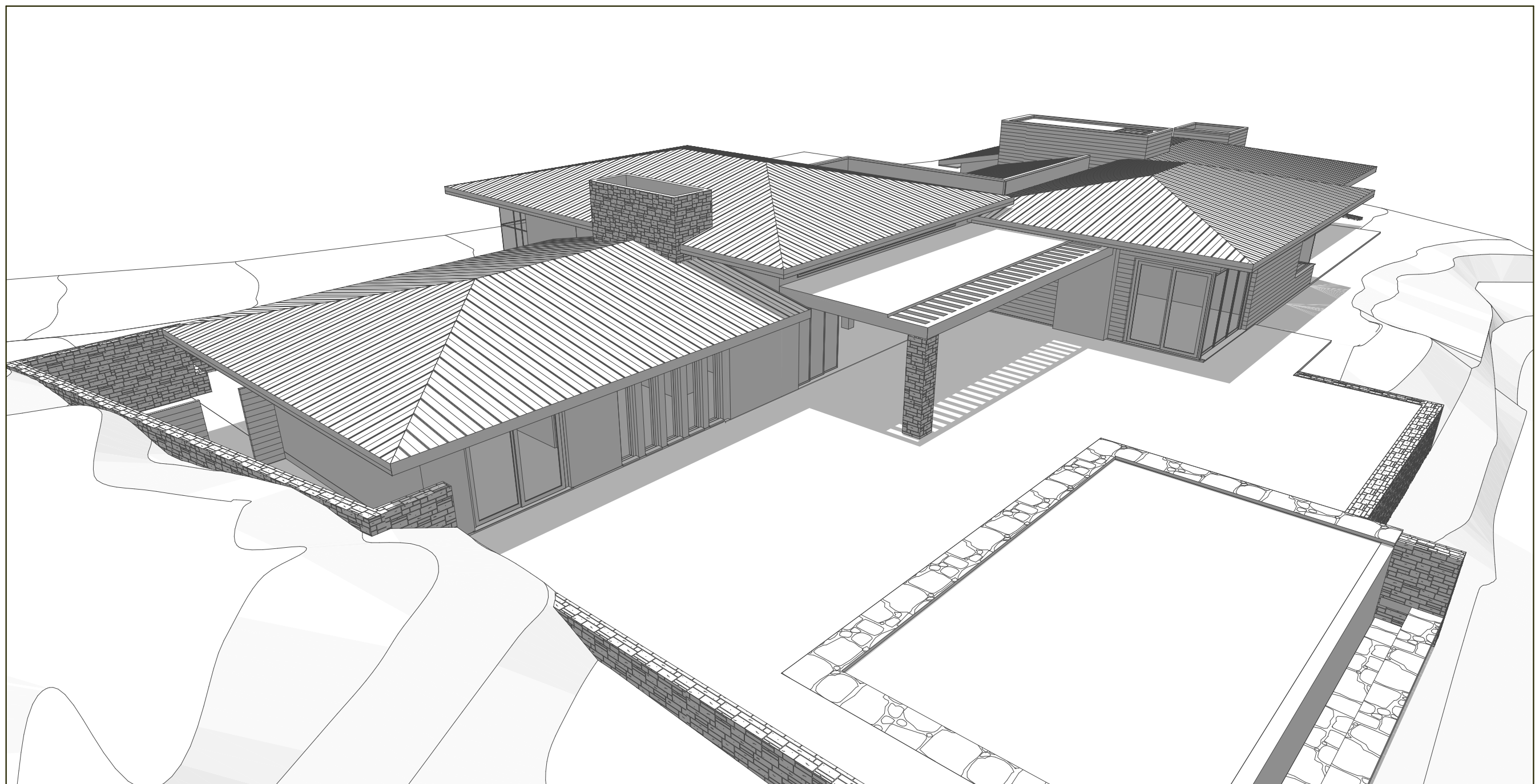
Sheet
GPR



○ NW BIRDS EYE 3D VIEW
NOT TO SCALE



○ SW BIRDS EYE 3D VIEW
NOT TO SCALE



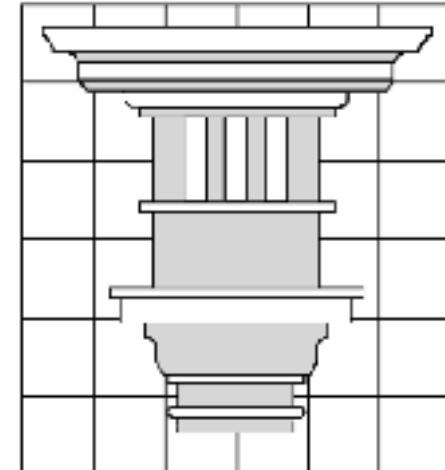
○ SE BIRDS EYE 3D VIEW
NOT TO SCALE



○ NE BIRDS EYE 3D VIEW
NOT TO SCALE

VERGARA RESIDENCE
15310 Suview Drive • Los Gatos • California

CAMARGO



& ASSOCIATES
ARCHITECTS

3953 Yolo Drive
San Jose, CA. 95136
(408) 266-3442
www.camargo.com

Date	8/28/2019
Project	SUVIEW
Drawn	FRANCISCO TORRES
Sheet	

GRADING AND DRAINAGE PLANS

15310 SUVIEW ROAD, LOS GATOS, CA 95032
ARCHITECTURE AND SITE APPLICATION NO. S-19-025
ASSESSORS PARCEL NO. 537-24-024

TOWN OF LOS GATOS STANDARD GRADING NOTES

- ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE CODE OF THE TOWN OF LOS GATOS, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408) 399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE:
 - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
 - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
 - RETAINING WALL: TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DIVISION).
 - TOE AND TOP OF CUT AND FILL SLOPES.
- PRIOR TO ISSUANCE OF ANY PERMIT, THE APPLICANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THAT DESIGNS FOR FOUNDATIONS, RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PEER REVIEW COMMENTS. THE APPLICANT'S SOILS ENGINEER'S APPROVAL SHALL THEN BE CONVEYED TO THE TOWN EITHER BY LETTER OR BY SIGNING THE PLANS.
SOILS ENGINEER _____
REFERENCE REPORT NO. _____, DATED _____, 20____
LETTER NO. _____, DATED _____, 20____ SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN.
- DURING CONSTRUCTION, ALL EXCAVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ON-SITE TO VERIFY THAT THE ACTUAL CONDITIONS ARE AS ANTICIPATED IN THE DESIGN-LEVEL GEOTECHNICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT RECOMMENDATIONS, AS NECESSARY. ALL UNOBSERVED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER OBSERVANCE (THE TOWN INSPECTOR SHALL BE MADE AWARE OF ANY REQUIRED CHANGES PRIOR TO WORK BEING PERFORMED).
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE (1) WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND/PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: JIM VERGARA PHONE: 408 640-4291
- GENERAL CONTRACTOR: _____ PHONE: _____
- GRADING CONTRACTOR: _____ PHONE: _____
- CUT: ±2,489 CY EXPORT: ±2,485 CY
FILL: ±4 CY

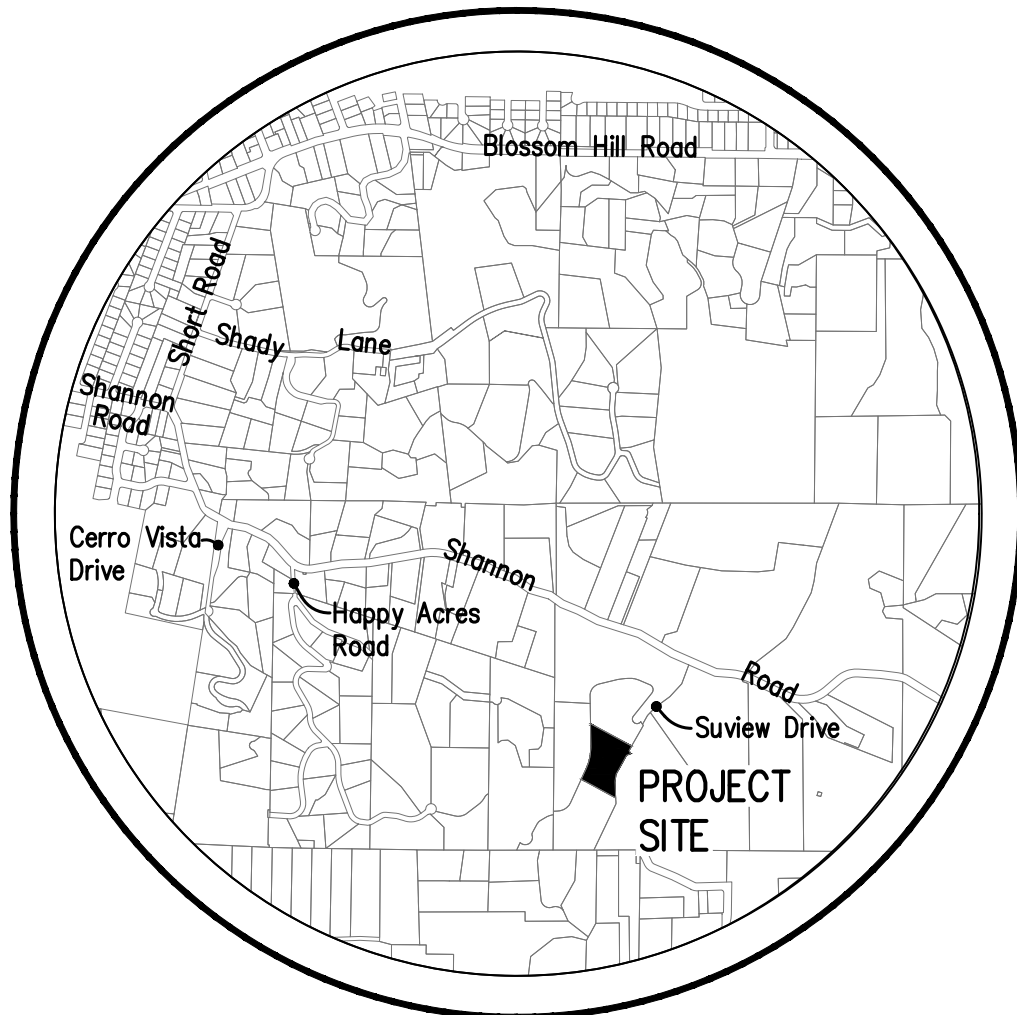
- WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO THE APPROVAL OF ALL PLANS.
- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- NO CROSS-LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORMWATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN ENGINEER.
- IT IS THE RESPONSIBILITY OF CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.
- GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP), THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLANS (INCLUDING ALL UPDATES) SHALL BE ON-SITE AT ALL TIMES. NO DIRECT STORMWATER DISCHARGES FROM THE DEVELOPMENT WILL BE ALLOWED ONTO TOWN STREETS OR INTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORMWATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AND ADEQUATELY OPERATING STORMWATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

TOWN OF LOS GATOS NPDES NOTES

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES (BMPs) AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTE OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

GENERAL NOTES

- PROPERTY ADDRESS: 15310 SUVIEW ROAD
- PROPERTY OWNER: VERGARA
- ASSESSORS PARCEL NUMBER: 537-24-024
- EXISTING USE: HILLSIDE RESIDENTIAL
- EXISTING ZONING: HR-2 1/2
- PROPOSED USE: HILLSIDE RESIDENTIAL
- PROPOSED ZONING: HR-2 1/2
- SITE AREA: 112,896 SQ. FT. / 2.59 ACRES
- APPLICANT/DEVELOPER: VERGARA
- CONSULTANTS:
- WATER SUPPLY: SAN JOSE WATER COMPANY
- SANITARY SEWER DISPOSAL: ONSITE SEPTIC SYSTEM
- GAS AND ELECTRIC: PACIFIC GAS AND ELECTRIC
- TELEPHONE: FRONTIER
- CABLE:
- STORM DRAIN: TOWN OF LOS GATOS
- FIRE PROTECTION: SANTA CLARA COUNTY FIRE DEPARTMENT
- DATUM: NAVD88 (GPS)
- BASIS OF BEARINGS: THE BEARINGS AND DISTANCES ARE BASED ON THE MONUMENTS FOUND AS RECORDED ON THE PARCEL MAP IN BOOK 362 OF MAPS AT PAGE 40 ON OCTOBER 15th, 1975.
- BENCHMARK INFORMATION: TOPOGRAPHIC SURVEY BENCHMARK ELEVATION BY GPS



VICINITY MAP

SHEET INDEX

- TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS
- BLUEPRINT FOR A CLEAN BAY SHEET
- EXISTING TOPOGRAPHY AND DEMOLITION PLAN
- SITE PLAN
- GRADING & DRAINAGE PLAN
- SECTIONS & DETAILS
- EROSION CONTROL PLAN

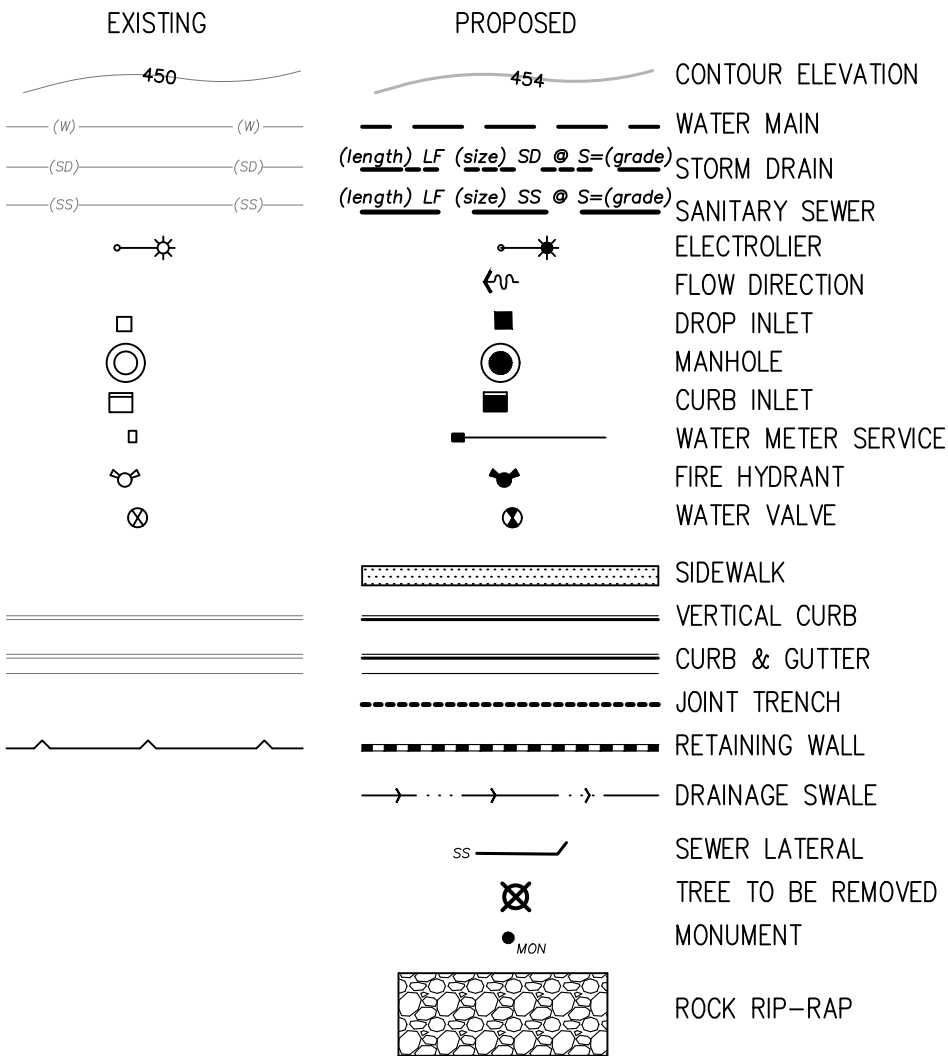
TABLE OF PROPOSED PERVIOUS AND IMPERVIOUS AREAS				
TOTAL SITE AREA: 112,820 SF	TOTAL SITE AREA DISTURBED: 27,918 SF (INCLUDING CLEARING, GRADING OR EXCAVATING)			
	EXISTING AREA (SF)	PROPOSED AREA (SF)		TOTAL AREA POST-PROJECT (SF)
		REPLACED	NEW	
IMPERVIOUS AREA	16,363 SF	9,650	4,590 SF	14,240 SF
TOTAL NEW & REPLACED IMPERVIOUS AREA		14,240 SF		
PERVIOUS AREA	96,457 SF			

TABLE OF PROPOSED EARTHWORK QUANTITIES					
AREA DESCRIPTION	CUT (CY)	MAX CUT HEIGHT (SF)	FILL (CY)	MAX FILL DEPTH (SF)	EXPORT (CY)
HOUSE FOOTPRINT	±811	±3.1			
CELLAR					
ATTACHED GARAGE	±224	±5.7			
ACCESSORY BUILDING					
POOL	±380	±13.7			
DRIVEWAY / ACCESS	±299	±6			
LANDSCAPE / OUTDOOR	±775	±11.6	±4	±2.7	
TOTAL	±2,489		±4		±2,485

ABBREVIATIONS

AB	AGGREGATE BASE	G	GAS	RCP	REINFORCED CONCRETE PIPE
AC	ASPHALT CONCRETE	GA	GAUGE	RIM	RIM ELEVATION
AD	AREA DRAIN	GB	GRADE BREAK	R/W	RIGHT-OF-WAY
ARV	AIR RELEASE VALVE	GM	GAS METER	(S)	SOUTH
BC	BACK OF CURB	GS	GAS SERVICE	S	SLOPE
BFP	BACKFLOW PREVENTER	HDPE	HIGH-DENSITY POLYETHYLENE	SCC	SANTA CLARA COUNTY
BW	BOTTOM OF WALL	HP	HIGH POINT	SCCFD	SANTA CLARA COUNTY FIRE DEPARTMENT
CATV	CABLE TELEVISION	IEE	INGRESS/EGRESS EASEMENT	SD	STORM DRAIN
CB	CATCH BASIN	IN	INCH	SDCO	STORM DRAIN CLEANOUT
CF	CUBIC FEET PER SECOND	INV	INVERT ELEVATION	SDE	STORM DRAIN EASEMENT
C/L	CENTERLINE	LAT	LATERAL	SDMH	STORM DRAIN MANHOLE
CMP	CORRUGATED METAL PIPE	LG	LIP OF GUTTER	SDR	STANDARD DIMENSION RATIO
CO	CLEANOUT	LP	LOW POINT	SF	SQUARE FEET
CY	CUBIC YARD	LG	LOW POINT	SIWC	SAN JOSE WATER COMPANY
DCVA	DOUBLE CHECK VALVE ASSEMBLY	MAX	MAXIMUM	SS	SANITARY SEWER
DI	DROP INLET	MH	MANHOLE	SSCO	SANITARY SEWER CLEANOUT
DIA	DIAMETER	MPH	MILES PER HOUR	SSE	SANITARY SEWER EASEMENT
DIP	DUCTILE IRON PIPE	(N)	NORTH	SSMH	SANITARY SEWER MANHOLE
DWY	DRIVEWAY	N.T.S.	NOT TO SCALE	STD	STANDARD
(E)	EAST	O.C.	ON CENTER	S/W	SIDEWALK
EG	EXISTING GRADE	TC	TOP OF CURB	TC	TOP OF CURB
ELEC	ELECTRICAL	PAD	PAD ELEVATION	TE	TELEPHONE
EP	EDGE OF PATH	PCC	PORTLAND CEMENT CONCRETE	TLG	TOWN OF LOS GATOS
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	PERF	PERFORATED	TW	TOP OF WALL
EX	EXISTING	PG&E	PACIFIC GAS & ELECTRIC COMPANY	TYP	TYPICAL
FC	FACE OF CURB	PIEE	PRIVATE INGRESS/EGRESS EASEMENT	VCP	VITRIFIED CLAY PIPE
FDC	FIRE DEPARTMENT CONNECTION	PL	PROPERTY LINE	(W)	WEST
FF	FINISHED FLOOR ELEVATION	PR	PROPOSED	W	WATER
FG	FINISHED GRADE	PSDE	PRIVATE STORM DRAIN EASEMENT	WM	WATER METER
FH	FIRE HYDRANT	PSE	PUBLIC SERVICE EASEMENT	WS	WATER SERVICE
FL	FLOW LINE	PSSE	PRIVATE SANITARY SEWER EASEMENT	WV	WATER VALVE
FM	FORCED MAIN	PUE	PUBLIC UTILITY EASEMENT	WVSD	WEST VALLEY SANITATION DISTRICT
FS	FIRE SERVICE	PVC	POLYVINYL CHLORIDE	XING	CROSSING
FT	FEET	RA	RADIUS		

LEGEND



NOTE:

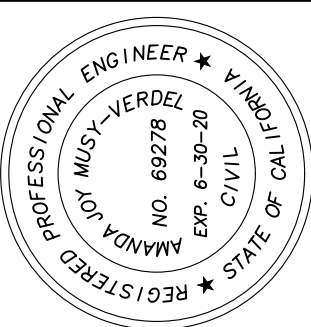
WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTE:

ADVANCE NOTICE SHALL BE PROVIDED TO NEIGHBORING PROPERTY OWNERS AND SCHOOLS OF HEAVY CONSTRUCTION ACTIVITIES AND HEAVY CONSTRUCTION SHALL NOT START BEFORE 8:30 AM ON DAYS WHEN SCHOOLS ARE IN SESSION. NO CONSTRUCTION IS ALLOWED ON SUNDAYS.



DATE: AUGUST 12, 2019	SCALE: AS SHOWN	DESIGN: AM	DRAWN: TM	CHECK: XX	ENGR: AM
-----------------------	-----------------	------------	-----------	-----------	----------

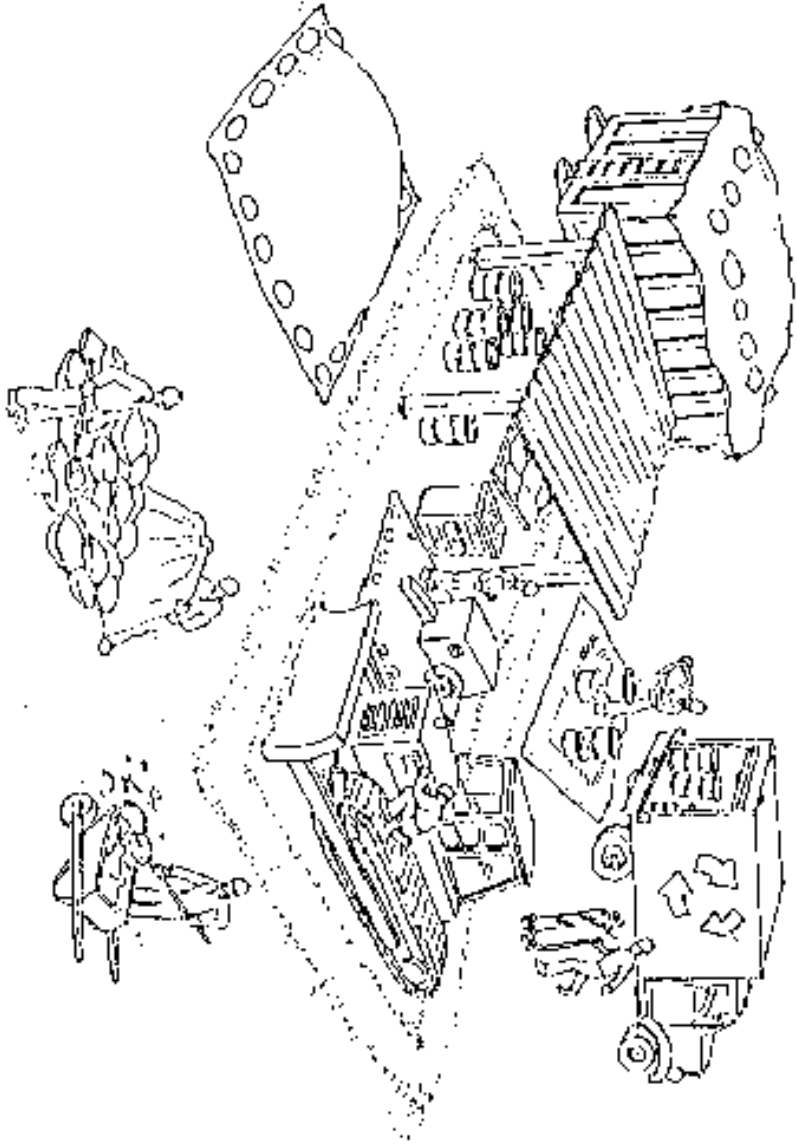
GRADING AND DRAINAGE PLANS
LANDS OF VERGARA - 15310 SUVIEW ROAD
TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS
ARCHITECTURE AND SITE APPLICATION NO. S-19-025
APN 537-24-024
PROJECT NO.: 16075
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

HANNA-BRUNETTI
EST. 1980
CIVIL ENGINEERS - LAND SURVEYORS
CONSTRUCTION MANAGERS



DATE	BY	REVISIONS							

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.

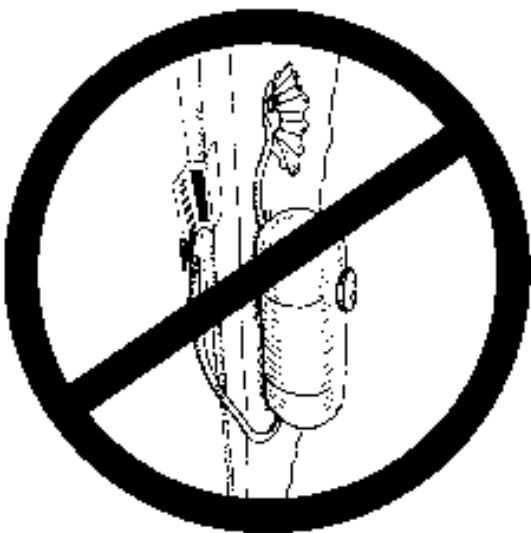
Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled offsite for proper disposal.



Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks offsite or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.

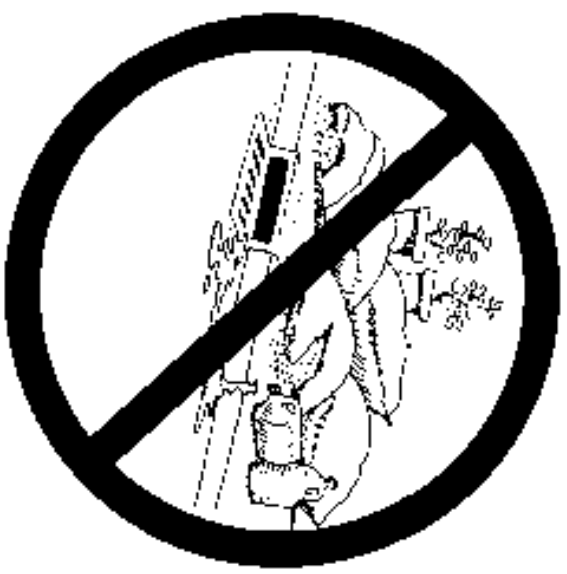


Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

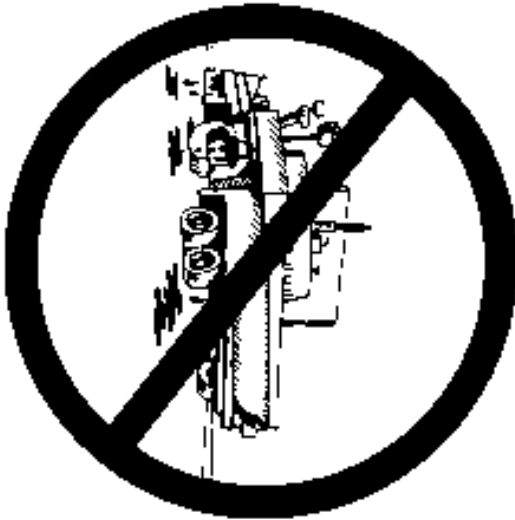


Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation when ever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

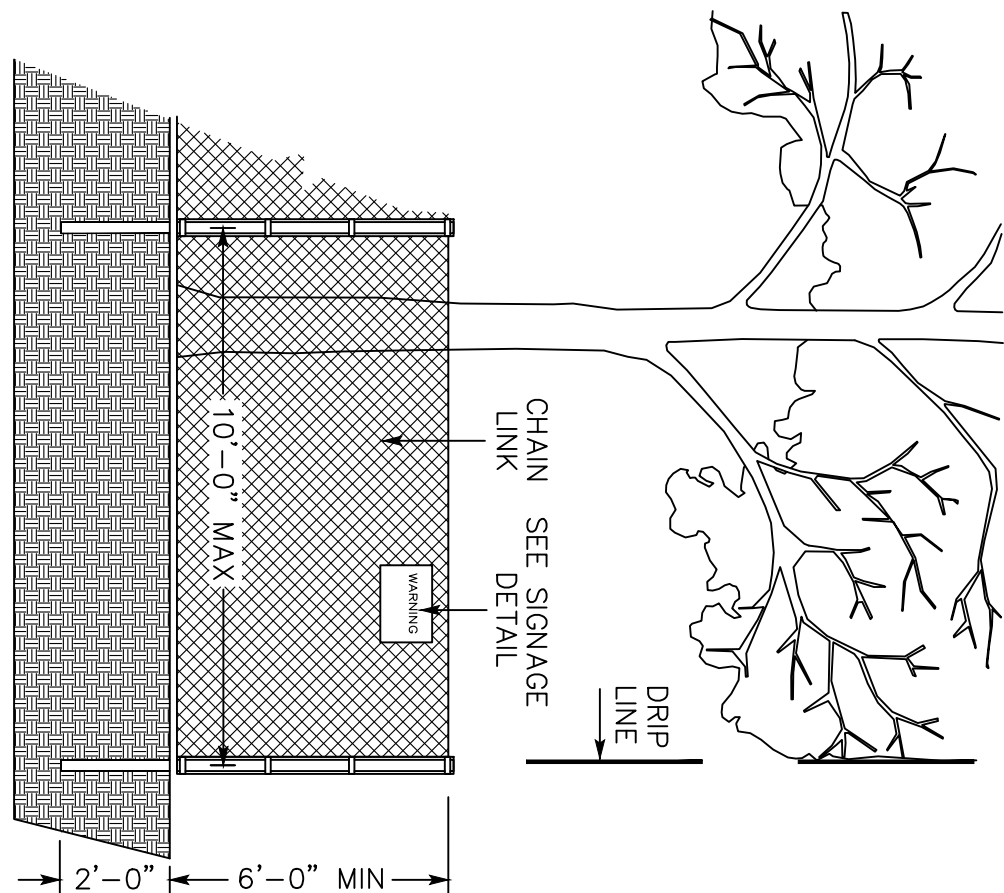


Painting

- ✓ Never use paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Storm drain polluters may be liable for fines of up to \$10,000 per day!



EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 6 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABLE).
3. FENCE SHALL BE SPACED AT 30 FEET, POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND. FENCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. THE TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

DATE:	AUGUST 12, 2019
SCALE:	AS SHOWN
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	AM
PROJECT NO.:	16075



PLAN FOR THE IMPROVEMENT OF LANDS OF VERGARA - 15310 SUVIEW ROAD EXISTING TOPOGRAPHY MAP

TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT

HANNA-BRUNETTI
EST. 1910

CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS

BY	DATE

Slope Density of Proposed Developed Area

$$S = \frac{0.0023 \text{ (l} \times \text{L)}}{1}$$

S = the slope density
l = the contour interval in feet = 2 ft
L = the sum length of contour lines in feet = 15,187
A = the area in acres = 2.59

$$S = \frac{0.0023 (2 \times 15187)}{2.59} = 26.9\%$$

	REVISIONS

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

GRAPHIC SCALE

(IN FEET)

1 inch = 20 ft.

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

AN EASEMENT HAS NOT BEEN DETERMINED BY SURVEY OR ENGINEERING STUDY. A RIGHT OF WAY FOR THE INSTALLATION, CONVEYANCE AND MAINTENANCE OF WATER AND A PIPELINE, AND FOR ELECTRICAL WIRING AND CONDUIT PER DOC. NO. 1621246

A STRIP OF LAND 20 FEET WIDE:
AN EASEMENT FOR THE INSTALLATION,
CONVEYANCE AND MAINTENANCE OF WATER
AND A WATER PIPELINE, AND FOR ELECTRICAL
WIRING AND CONDUIT PER DOC. NO. 12513348
BOOK N457 O.R. PAGE 1034

AN IRREVOCABLE OFFER TO
DEDICATE AN EASEMENT
REC. NO. 5113244
BOOK 8642 O.R. PAGE 155

EMERGENCY VEHICLE ACCESS AND
PUBLIC UTILITY EASEMENT PER
DOC. NO. 19711365

NON EXCLUSIVE INGRESS/EGRESS
EASEMENT PER DOC. NO. 1971130
AND DOC. NO. 21284061

AN IRREVOCABLE OFFER TO
DEDICATE AN EASEMENT
REC. NO. 5113244
BOOK 8, B642 O.R. PAGE 155

LINE

SEE SHEET 6 FOR CROSS SECTION

98.26

REVISIONS

BY | DATE

HANNA-BRUNETTI
EST. 1910

CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS

PLAN FOR THE IMPROVEMENT OF LANDS OF VERGARA - 15310 SUVIEW ROAD SITE PLAN

ARCHITECTURE AND SITE APPLICATION NO. S-19-025

TOWN OF LOS GATOS

PARKS AND PUBLIC WORKS DEPARTMENT

DATE AUGUST 12, 2018

SCALE: AS SHOWN

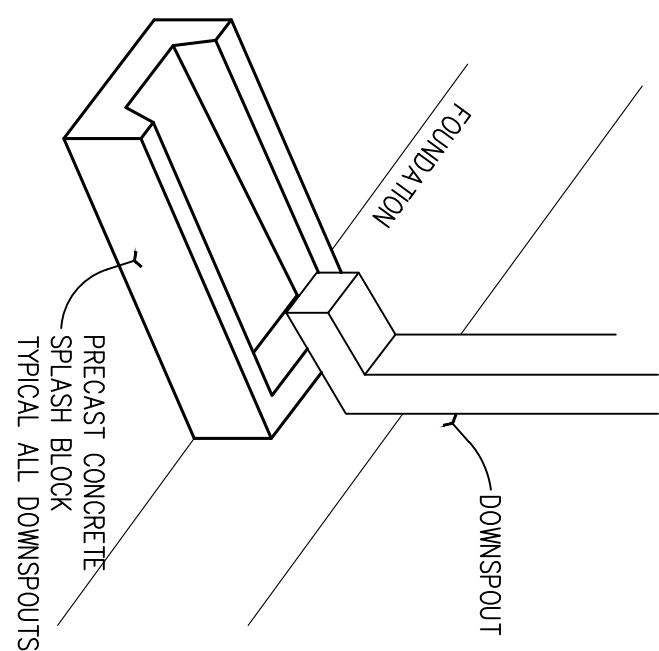
DESIGN:	AM
---------	----

ENCRI	AAA
-------	-----

PROJECT NO.: 16075

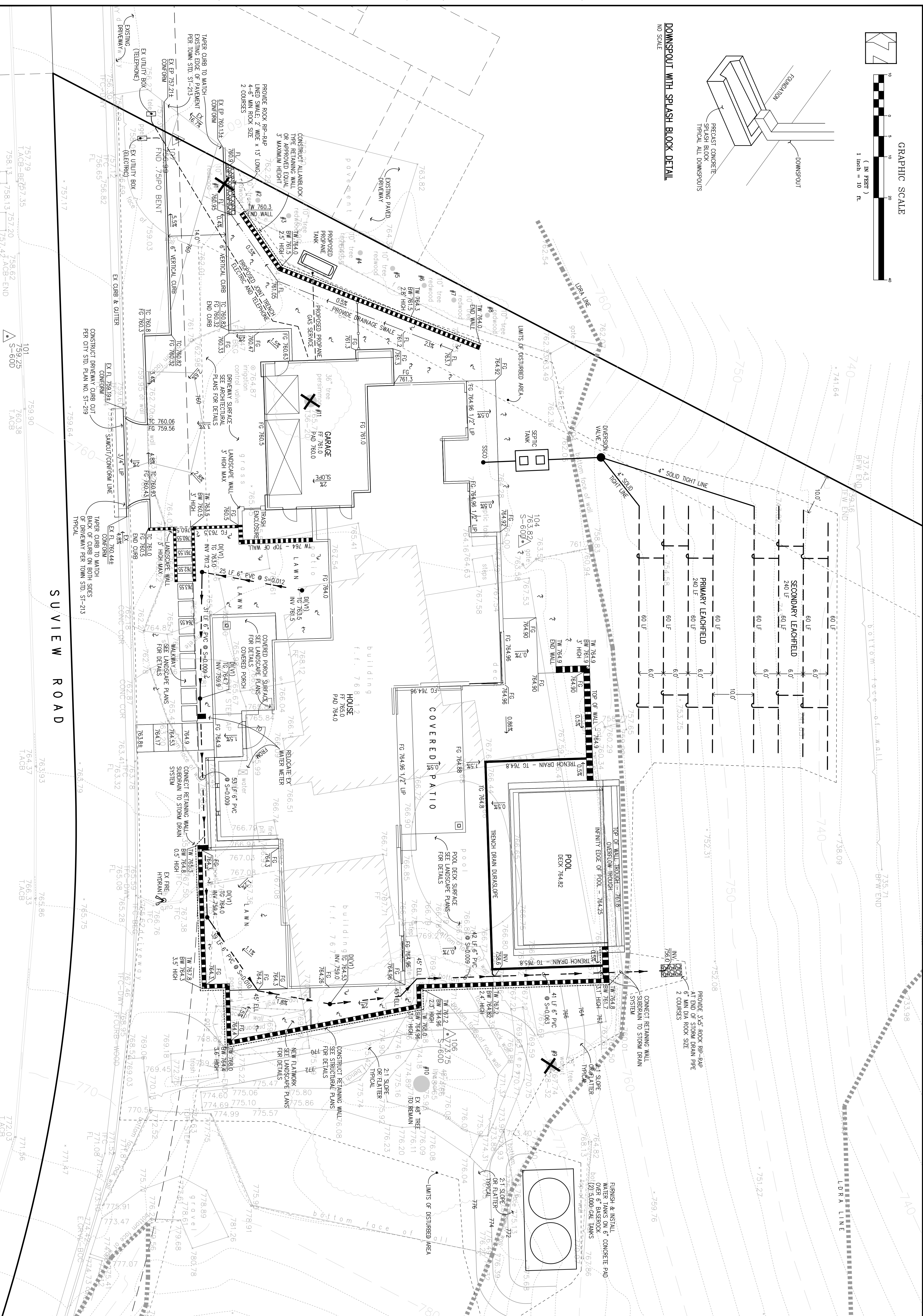


GRAPHIC SCALE



DOWNSPOUT WITH SPLASH BLOCK DETAIL

NO SCALE



DATE:	AUGUST 12, 2019
SCALE:	AS SHOWN
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	AM
PROJECT NO.:	16075



PLAN FOR THE IMPROVEMENT OF LANDS OF VERGARA - 15310 SUVIEW ROAD GRADING & DRAINAGE PLAN

ARCHITECTURE AND SITE APPLICATION NO. S-19-025
APN 537-24-024

APN 537-24-024

TOWN OF LOS GATOS

PARKS AND PUBLIC WORKS DEPARTMENT

HANNA-BRUNETTI
EST. 1910

CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS

BY	DATE

REVISIONS

SHEET 5 OF 7



Christy



-

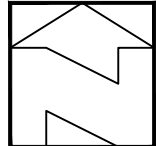
-

TOWN OF LOS GATOS

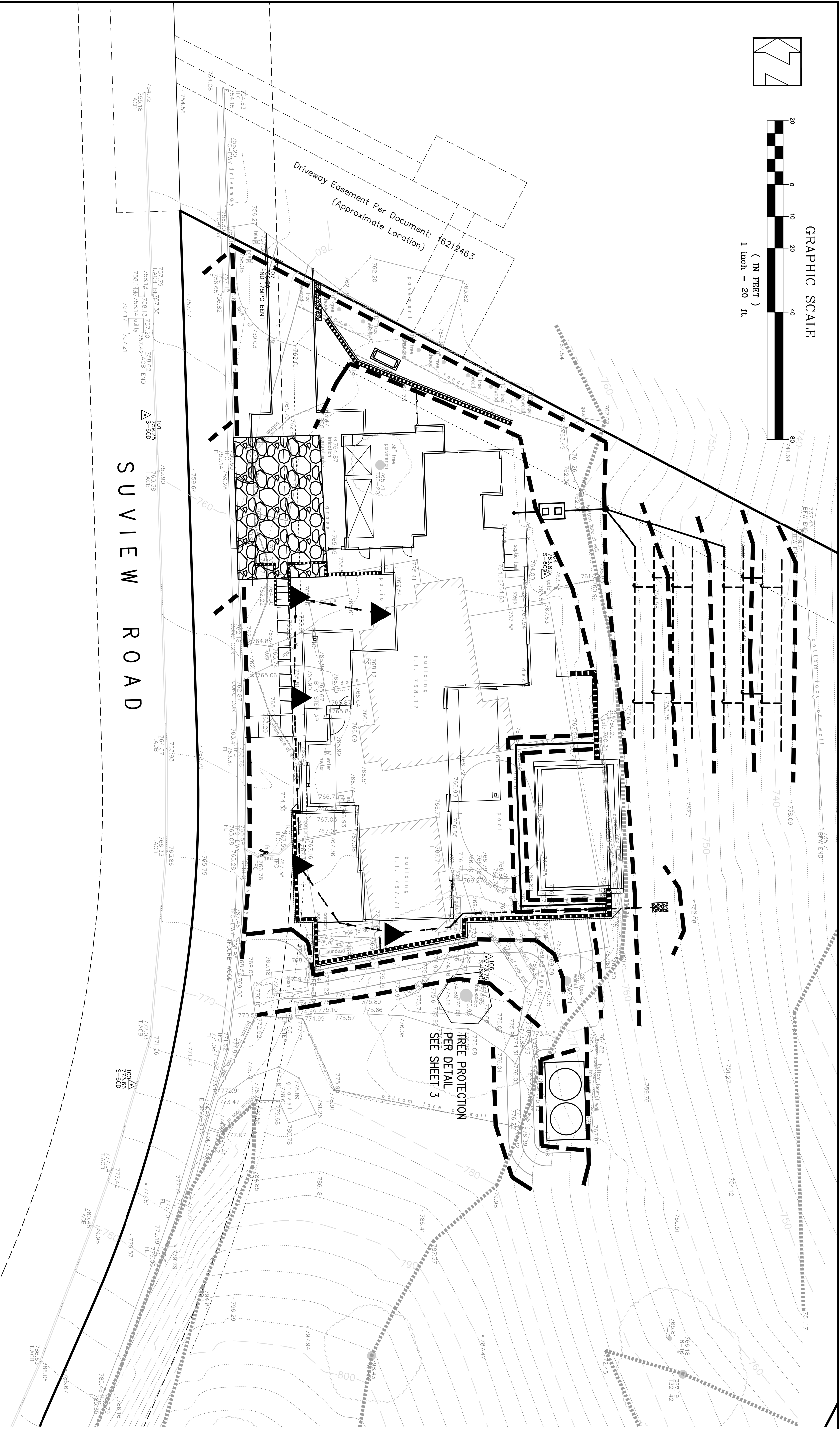
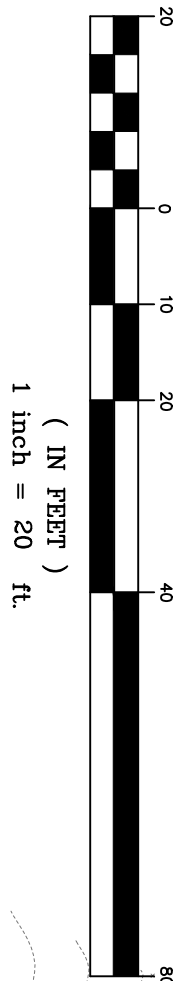
TOWN OF LOS GATOS

BY	DATE

◆	REVISIONS



GRAPHIC SCALE



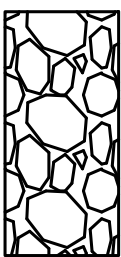
EROSION CONTROL NOTES

1. EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON: OCTOBER 15 THROUGH APRIL 15.
2. NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR AND FREE OF SILTS.
3. A FIBER ROLL PER FIBER ROLL DETAIL SE-9 SHALL BE INSTALLED ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
4. ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETELY FULLY COVERED SHALL BE BLOCKED OFF COMPLETELY.
5. THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE CITY.
6. PRIOR TO GRADING, AN ENTRANCE SHALL BE CONSTRUCTED, CONSISTING OF A MINIMUM OF 50 LF OF DRAIN ROCK, 3" IN DIAMETER, PLACED OVER MIRAFI SOX (OR EQUAL) PER DETAIL TC-1. THE ENTRANCE SHALL CONFORM TO "CONSTRUCTION ENTRANCE DETAIL TC-1", THERE SHALL BE ONLY ONE ENTRANCE/EXIT POINT TO THE SITE DURING THE RAINY SEASON. THE LOCATION SHALL BE AS SHOWN ON THESE PLANS, OR AT A LOCATION APPROVED BY THE CITY.
7. ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED OR NON-VEGETATIVE STABILIZATION PER EC-16. PER THE TABLE BELOW, ALL STOCKPILES, AND/OR BURNING AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES PER DETAIL SE-10. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED CHANCES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE OSD. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL CITY ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO CITY ENGINEER'S APPROVAL.
8. ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN SO INLETS (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
11. ALL DRAIN SCALES SHALL BE PER DETAIL EC-9.
12. INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRACTOR SHALL MAINTAIN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED UNTIL STRAW MULCH, AND INLET PROTECTION AT THE END OF EACH DAY. IF PAVED AREAS ARE NOT MAINTAINED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESTILTING METHODS, SUBJECT TO APPROVAL BY THE CITY ENGINEER.
13. IF THESE EROSION CONTROL MEASURES PROVE INADEQUATE, STRAW MULCH, JACKPAPER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

HYDROSEED TABLE

ITEM	LBS/ACRE
COMMON BARLEY	45
ANNUM PERGRASS	45
GRASS CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
JACKPAPER	100

LEGEND



CONSTRUCTION ENTRANCE/EXIT PER DETAIL TC-1

FIBER ROLL BARRIER PER DETAIL SE-5

STORM DRAIN INLET PROTECTION PER DETAIL SE-10

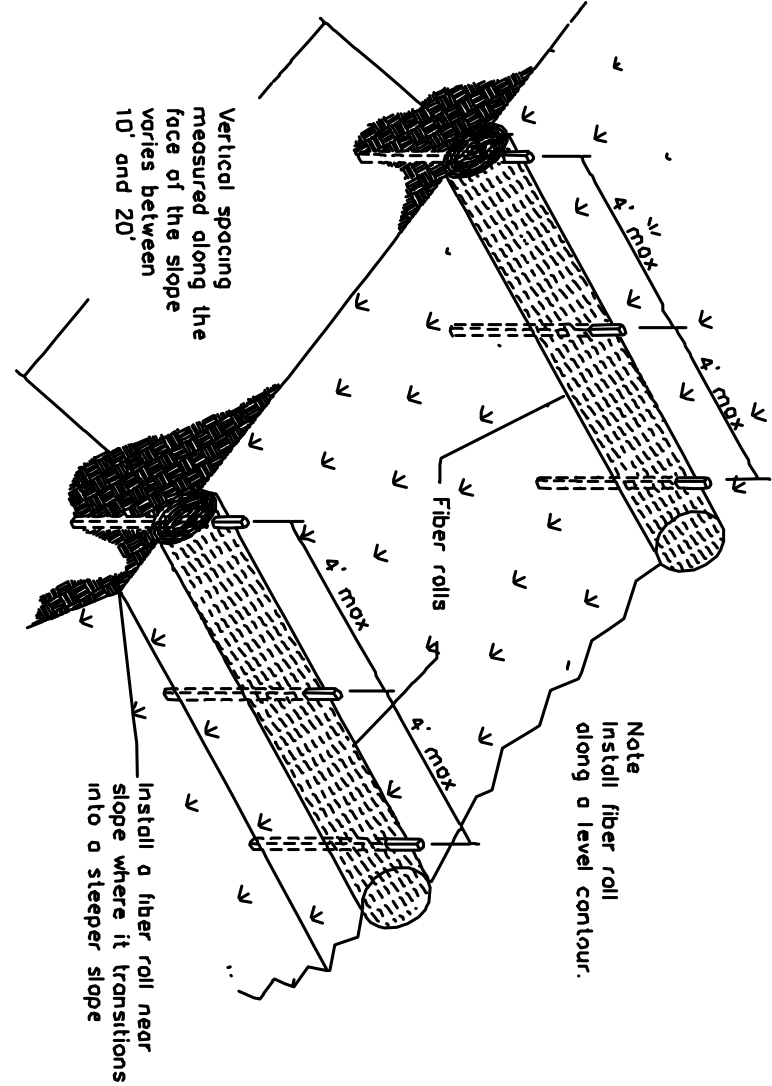
SE-5

Fiber Rolls

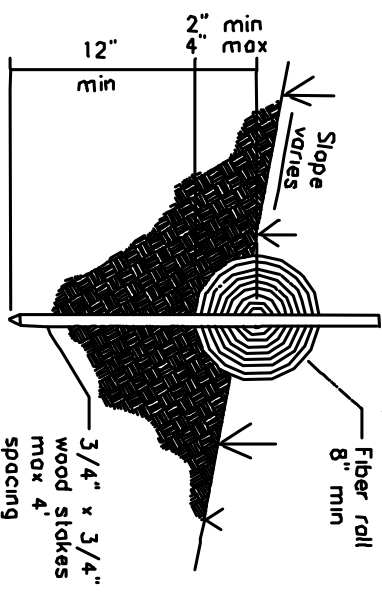
Stabilized Construction Entrance/Exit TC-1

SE-10

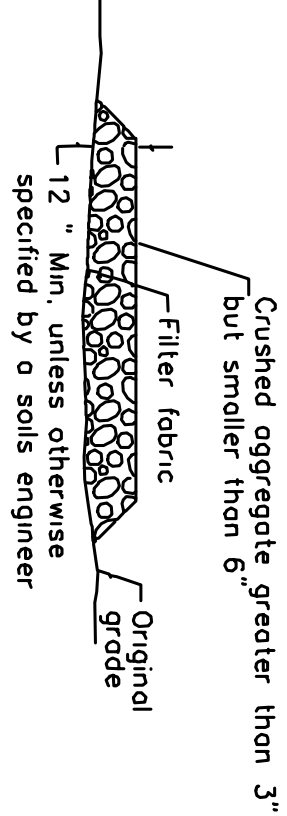
Storm Drain Inlet Protection



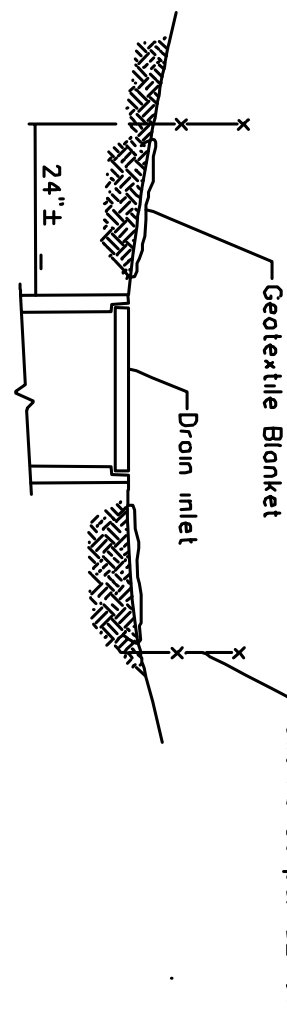
TYPICAL FIBER ROLL INSTALLATION
N.T.S.



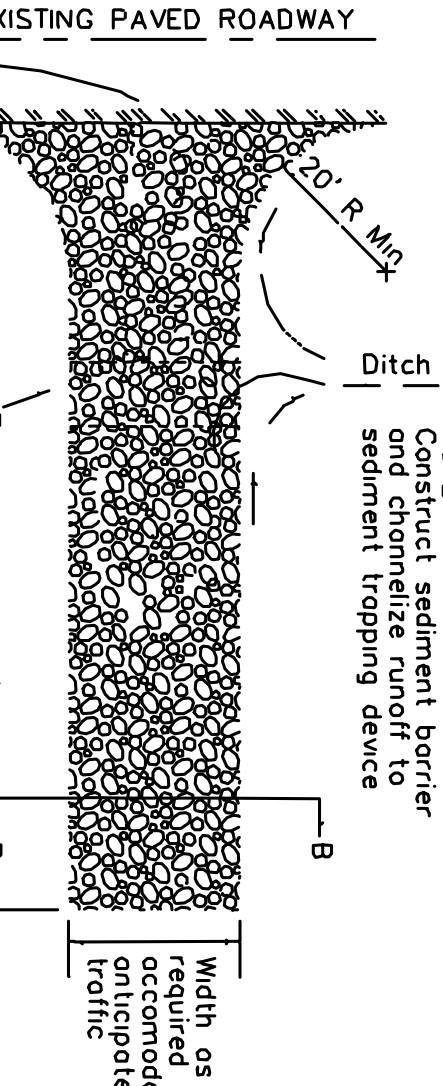
ENTRENCHMENT DETAIL
N.T.S.



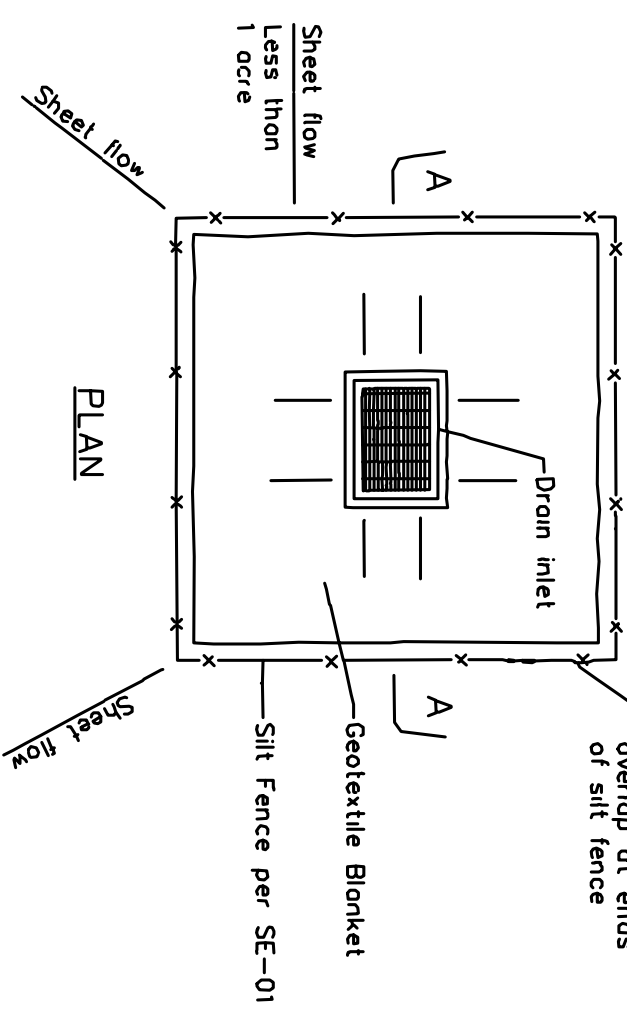
SECTION B-B
N.T.S.



SECTION A-A



PLAN
N.T.S.



DI PROTECTION TYPE 1
NOT TO SCALE

- NOTES
1. For use in areas where grading has been completed and final soil stabilization and seeding are pending.
 2. Not applicable in paved areas.
 3. Not applicable with concentrated flows.





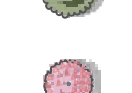
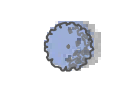

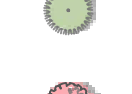
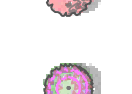



DATE: AUGUST 12, 2019
SCALE: AS SHOWN
DESIGN: AM
DRAWN: TM
CHECK: XX
ENGR: AM
PROJECT NO.: 16075

PLAN FOR THE IMPROVEMENT OF
LANDS OF VERGARA - 15310 SUIVIEW ROAD
EROSION CONTROL PLAN
ARCHITECTURE AND SITE APPLICATION NO. S-19-025
APN 537-24-024
TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT



DATE	BY	REVISIONS

PLANT SCHEDULE

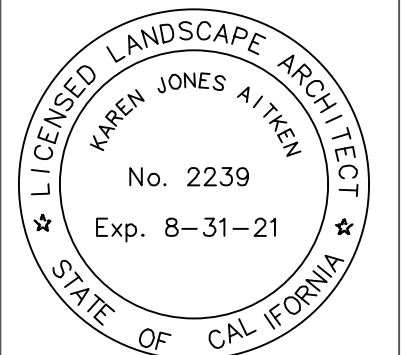
TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	ACE DWF	Acer palmatum	Dwarf Japanese Maple	15 gal.	1
	ACE PAL	Acer palmatum	Japanese Maple	24"	2
	ARB HYB	Arbutus x `Marina`	Arbutus Standard	24"box	2
	OLE FRU	Olea europaea `Fruitless`	Fruitless Olive	24"box	1
	QUE AGR	Quercus agrifolia	Coast Live Oak	24"box	2
	SEQ SEM	Sequoia sempervirens	Coast Redwood	24"box	7
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	COL SUN	Coleonema pulchrum `Sunset Gold`	Golden Breath Of Heaven	1 gal.	16
	EUO BOX	Euonymus japonicus `Microphylla`	Boxleaf Euonymus	5 gal.	11
	HET ARB	Heteromeles arbutifolia	Toyon	5 gal.	4
	LAN PUR	Lantana montevidensis	Trailing Lantana	5 gal.	22
	LAV HI2	Lavandula angustifolia `Hidcote Blue`	Hidcote Blue Lavender	5 gal.	8
	NEP BLU	Nepeta x faassenii `Blue Wonder`	Catmint	5 gal.	18
	PEN RUB	Pennisetum rubrum	Fountain Grass	5 gal.	5
	ROS DWA	Rosmarinus officinalis `Prostratus`	Dwarf Rosemary	5 gal.	22
	SAL LIP	Salvia greggii `Lipstick`	Autumn Sage	5 gal.	21
	SAL LEU	Salvia leucantha	Mexican Bush Sage	5 gal.	4
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	MYO PAR	Myoporum parvifolium	Trailing Myoporum	1 gal.	35
	ROS OFF	Rosmarinus officinalis	Rosemary	1 gal.	42



REVISIONS	BY

AITKEN ASSOCIATES
LANDSCAPE ARCHITECTS
8262 Rancho Real Gilroy, CA 95020
Calif. Reg. #2239 (408) 842-0245
aitkenassociates@gmail.com

VERGARA RESIDENCE
15310 Suview Drive, Los Gatos, CA
LANDSCAPE PLAN



DATE 08-28-19
SCALE 1"= 20'-0"
DRAWN IN
JOB VERGARA

L-1

Exhibit 1: Town of Los Gatos Hillside Area Viewing Map.
The orange circled area represents the Viewing area at the Southwest Corner of Blossom Hill Road and Los Gatos Boulevard where the property in question is visible. The red circle represents the property.

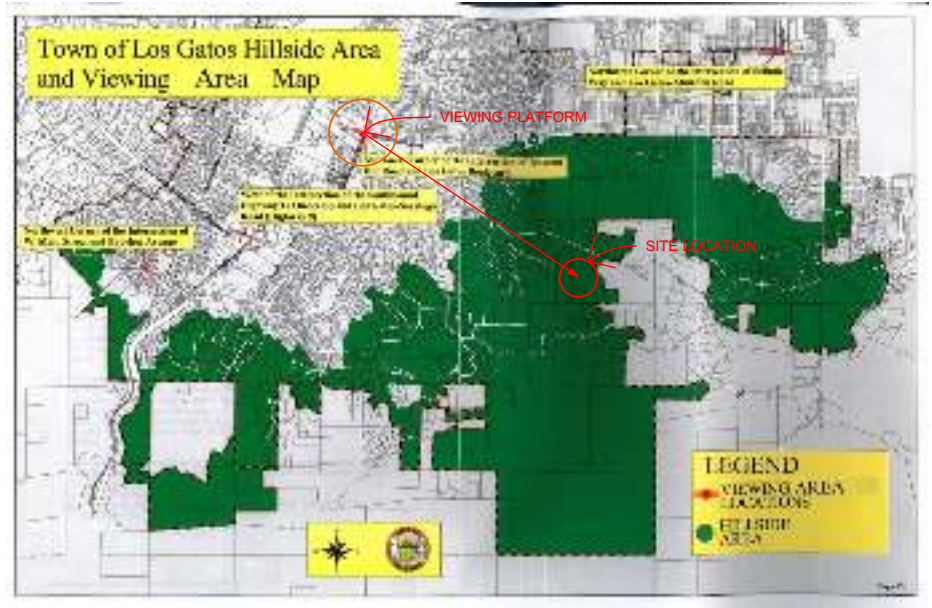


Exhibit 2: Viewing area Blossom Hill Road and Los Gatos Boulevard.
The red circled area represents a 500ft radius from the Southwest corner of Blossom Hill Road and Los Gatos Boulevard. Points A, B, and C, represent areas from where the existing house is visible.



The existing home is currently visible from the view platform located at Blossom Hill Road and Los Gatos Boulevard where the house is visible in its entirety. The new home will be located towards the north side of the property which reduces visibility by 30% of surface area.

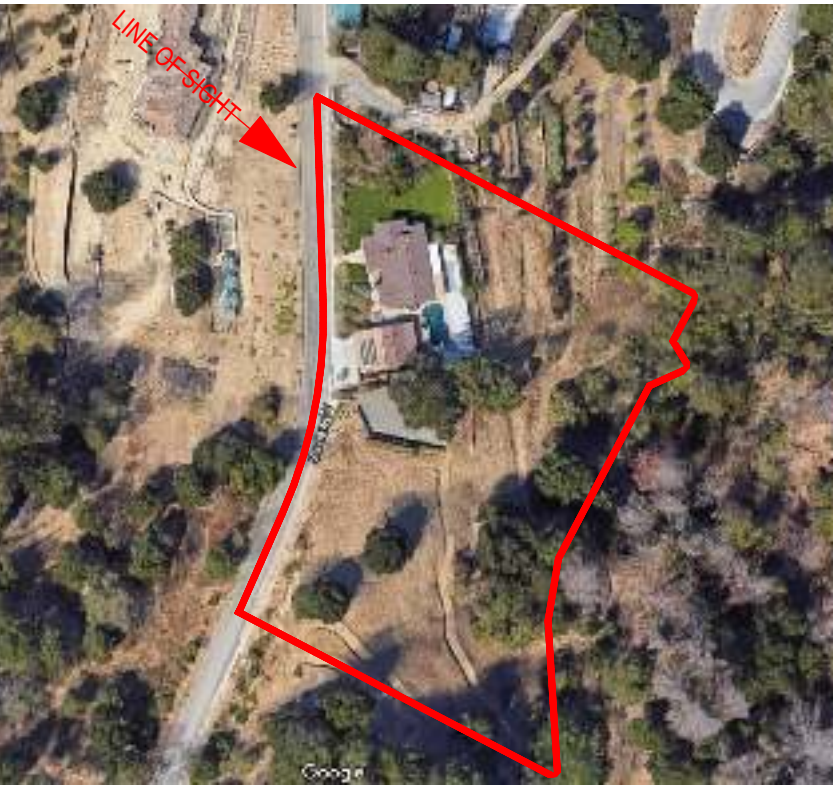


Exhibit 3 : Property as viewed from point of reference A.

Fig. 1 : Existing house at 50mm range



Fig. 3 :Profile of proposed home at 50mm range



Exhibit 4 : Property as viewed from point of reference B.

Fig. 2 : Existing house at 300mm range.



Fig. 4 :Profile of proposed home at 300mm range.



Fig. 1 : Existing home at 50mm range.



Fig. 2 : Existing home at 300mm range.



Fig. 3 : Profile of proposed home at 50mm range.



Fig. 4 : Profile of proposed home at 300mm range.



Exhibit 5 : Existing house as viewed from point of reference C.

Fig. 1 : Existing house at 50mm range.



Fig. 2 : Existing house at 300mm range.



Fig. 3 : Profile of proposed home at 50mm range.



Fig. 4 : Profile of proposed home at 300mm range.

